

Environmental Assessment Registration

Spray Booth for a New Mill Shop

From

Elite Kitchens and Design Inc.

860B Torbay Road, Torbay NL A1K 1A2

To

Minister of Municipal Affairs and Environment

PO Box 8700, St. John's NL A1B 4J6

Attention: Director of Environmental Assessment

8 October 2019



1 NAME OF UNDERTAKING

Spray Coating Facility in New Kitchen Cabinet Manufacturing Plant

2 PROPONENT

Elite Kitchens and Design Inc.

860B Torbay Road, Torbay NL A1K 1A2

<http://elitekitchensnl.ca/home.html>

President: Phillip Snow

Tel: (709) 364 4000; (709) 685 7494

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Principal Contact Person for purpose of environmental assessment:

Hubert Alacoque, P. Eng. MBA

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3 THE UNDERTAKING

3.1 NAME OF THE UNDERTAKING:

Installation of a new spray paint booth in a new mill shop building at 918 Torbay Road, Torbay, NL.

3.2 PURPOSE/RATIONALE/NEED FOR THE UNDERTAKING:

The proponent has been in operation for the last 10 years at its current location, at 860B Torbay Road, Torbay. In the rented space, the proponent operates a full cabinet making facility. The proponent is only moving to his new owner-occupied building.

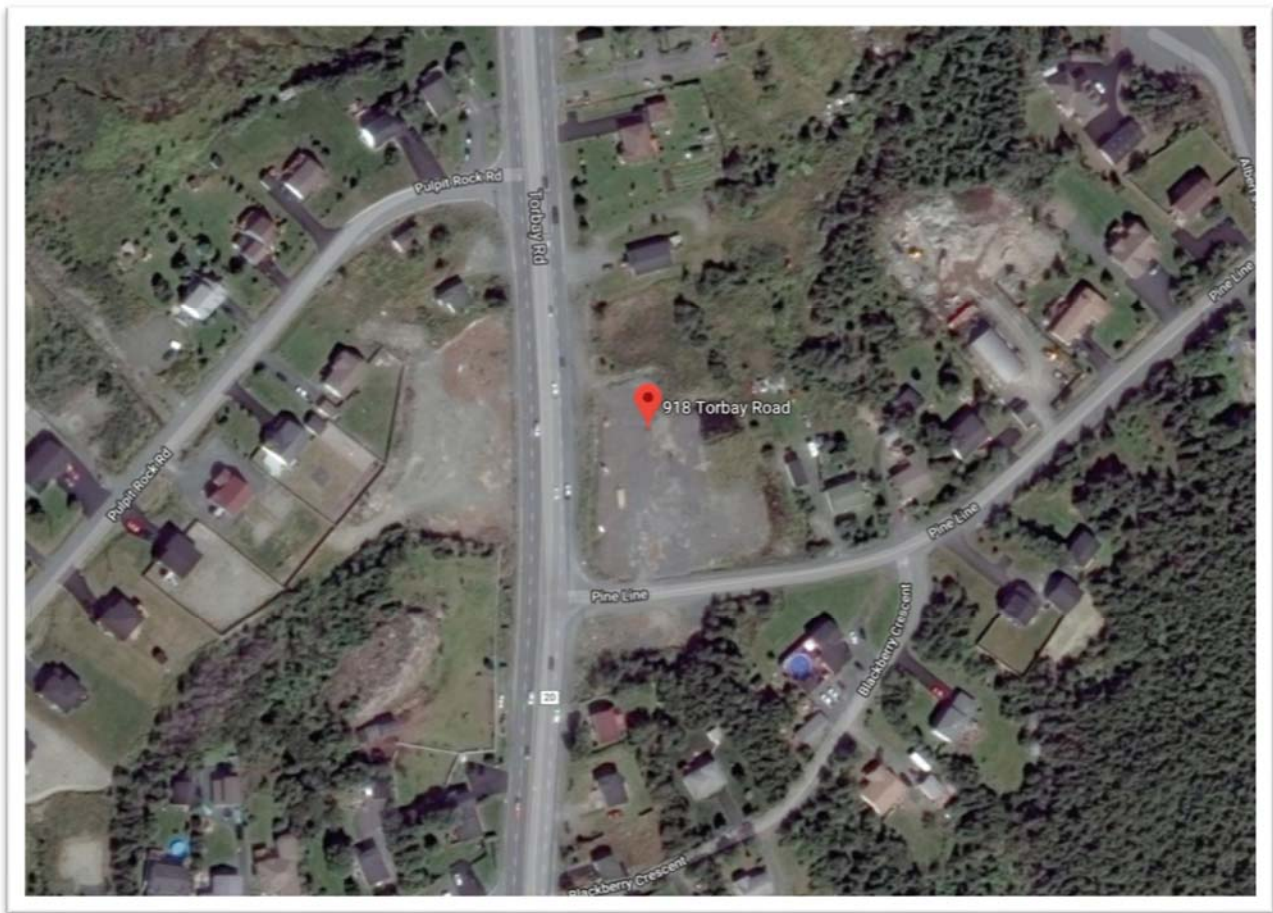
The proposed Paint Booth is required for operational requirements for painting and varnishing of cabinetry and trim components, as typically done in kitchen and commercial cabinet making plants. Spray painting and coating is an essential part of the process in the production of quality cabinetry that the market demands. Spray painting and coating is done in dedicated and isolated area of the plant, where spray booth and automated coating machines are used.

4 DESCRIPTION OF THE UNDERTAKING

4.1 GEOGRAPHICAL LOCATION:

The spray booth will be installed inside the new building that the Proponent is building at 918 Torbay Road, Torbay, NL, on the north east corner lot of Torbay Road and Pine Line. The building lot is 0.6063 hectares in a triangular shaped area.

The land is bounded by Torbay Road on the west side, Pine Line on the south side, and a low-density single dwelling residential area on the east and north sides.



The painting/coating booth area of the building will be¹:

- 75 meters from the nearest residential dwelling on the east side;
- 90 meters from the nearest residential dwelling on the north side;
- 85 meters from the nearest residential dwellings on the south side, across Pine Line;
- 100 meters and more from any residential dwellings on the west side, across Torbay Road.

In the nearby vicinity of the proposed new building, there are already several spray coating facilities in operations – Collision Clinic: 850 Torbay Rd, Torbay & GJ Cahill Fabrication Structural facility: 863 Torbay Rd, Torbay, in addition to the proponent’s existing operations at 860B Torbay Road.

Prior to issuing a development approval for the new building, Town of Torbay notified the surrounding neighborhood to see if there would be public comments or opposition. There was no public opposition expressed at that time. Furthermore, the proponent personally visited the most immediate residential neighbors to explain and describe his building plans, and he received no objection from any of the neighboring residents.

4.2 PHYSICAL FEATURES

4.2.1 The Building

The building in which the Paint Booth will be located will be 1,324 square meters in total, consisting of a showroom and office area of 270 square meters, a mill shop and storage area of 887 square meters, and a commercial space rental section of 167 square meters. The building will be a single story, slab-on-grade structure with a cross gabled roof.

There are parking areas adjacent to the building. The Paint Booth area will occupy a footprint of 185 square meters - or 14% of the total building area, and 21% of the plant area.

The building will be occupied by a staff of approximately 8 during business and operational hours. The building will be open during core business hours (0800 to 1600 hours) from Monday to Friday each week. The showroom will receive a small number of visitors, estimated at 10 people per day.

The plant area of the building will have restricted access – only for production workers, shipping/receiving people and management. The building will also be protected by an alarm system, which will be monitored after hours. A preliminary architectural drawing set for the building is presented in Appendix 1.

¹ Distances measured using Google Map

4.2.2 The Painting/Coating Area of the Building

The coating area of the plant will consist of a mechanical spray booth (107 square meters), a drying booth (44 square meters) and a hand spray booth (34 square meters). These are rooms 115, 116 and 117 respectively identified in the architectural drawings in Appendix 1.

4.2.2.1 *Mechanical Spray Machine*

This VEN SPRAY SMART spray coating machine from Venjakob North America Inc. is a stand-alone solution, designed to meet flexible production requirements and can be used for solvent and water-based paints. This spray coating machine is both economical and environmentally friendly. It produces high quality coatings with high productivity, thereby reducing operating time overall for any given production volume requirements. It is a state-of-the-art, German engineered and made spray coating machine, designed to meet the strictest environmental emission requirements. Information on this machine is presented in Appendix 2.

The machine filters both supply (to remove dust and particulate) and exhaust air (to remove/capture spray fumes). Air flows for this particular machine are in the order of 7,000 cubic meters per hour during operation. Fumes and vaporized coating compounds are blocked/intercepted by the filters where they condense and coagulate. The exhaust air cleaning/scrubbing achieved captures 99% of the volatile content of the air stream.

The floor footprint of the machine is only about 2.5 meters in width and 4 meters in length. The rest of the space in the room is dedicated to preparing and temporarily storing the work pieces to be sprayed with the machine.

4.2.2.2 *Drying Booth*

The drying booth is only a room for the coated work pieces to dry, for the coatings to completely cure, before they are further handled and moved out of the room to further processing. The room will have restricted traffic and access to minimize airborne dust contamination.

4.2.2.3 *Hand Spray Booth*

The proposed Hand Spray Booth is an open face, modular design, constructed with single skin, 18-gauge G-90 galvanized steel, with pre-punched panels and nut and bolt assembly which provides effective structural integrity. Fully constructed the Paint Booth will occupy a footprint of 12 feet- 3 inches wide, 7 feet-2 Inches high and 11 feet deep.

This ETL-Listed 12' Open Face Paint Booth draws air through the open front which is then exhausted through the back-wall filters. The booth complies with NFPA-33, the top-level safety code in the USA for spray application of flammable or combustible materials. This model has also been tested and certified

as an ETL-Certified Booth by Intertek/ETL (Edison Testing Labs), an OSHA (Occupational Safety & Health Administration) recognized NRTL (Nationally Recognized Testing Laboratory). This certification is mandatory by many local authorities for safe operation and compliance. The stock model† of this booth comes with the certification included with the booth price.

The basic specifications of the booth are:

- 12' W x 7' H x 8' D Inside dimensions
- 12'3" W x 7'1.5" H x 11' D Outside dimensions
- UL listed tube axial fan and **3 phase motor with belt guard, pulleys & sheave
- Belt guard is included to prevent accidental contact with belts and pulleys by fingers or other objects
- All 18-gauge galvanized steel construction panels
- 48" 4-tube fluorescent light fixtures with clear tempered glass in ceiling
- 20" x 20" fiberglass exhaust filters
- Draft gauge
- All hardware, fasteners, sealants
- Assembly instructions
- UL listed components
- Filters Supplied: 24
- Fan Size: 30"
- 3-Phase motor
- CFM: 10,104
- Lights: 2
- The ETL paint booth package with this model includes:
 - An ETL-listed electrical control panel (Controls your lights and fan)
 - An air valve solenoid to interlock the fan motor and spray equipment
 - ETL label on the booth with the certification information for your local authorities

The unit comes equipped with an engineered Exhaust Chamber which filters the air (removing 99.85% of particulate matter) as it exits the booth. An exhaust stack will be installed to ventilate the booth to the roof of the building. The booth is supplied with a full set of Binks exhaust filters and a manometer to indicate when filters need to be replaced. The unit is also supplied with standard sized, explosion proof light fixtures and high-powered fans and motors sized to create adequate airflow within the booth.

4.3 CONSTRUCTION:

Once the building construction is substantially completed, the plant will be outfitted with the production equipment and machines, including the coating/spraying equipment. Building construction is estimated to be completed by May 2020, such that the installation of the equipment would be done shortly thereafter.

The installation includes assembly of the mechanical and hand spray booth with the manufacturers supplied parts, as well as installation of the required electrical work and ductwork for the inlet and exhaust fans.

During the construction period (encompassing the installation of the spray coating equipment and required ancillary equipment (e.g. electrical, fan and ductwork) minimal pollutants will be generated. It is anticipated that only non-hazardous solid waste will be generated, mainly from packing materials used in the shipping of the goods from the manufacturer. Any non-recyclable solid waste will be deposited in a dumpster on the property (which will be leased from GFL Environmental Inc.). The waste is periodically collected by GFL Environmental Inc. and disposed of at the Robin Hood Bay landfill. Recyclable materials (e.g. wood pallets, metals) will be segregated and appropriately managed in conformity with local regulatory requirements.

4.4 OPERATION:

4.4.1 Cabinet Making & Mill Shop Operations

This new cabinet making, and mill shop will be equipped with the machines that the Proponent uses at its current location, plus some new equipment including the VEN SPRAY SMART spray coating system.

The designers and showroom facility produce a set of drawings for the plant to use to manufacture the cabinets and counter tops and trims that are required for a given order. The shop then uses a CNC cutting machine to quickly and accurately cut the components and panels for the cabinets. The CNC machine is very productive and reduces waste materials to a minimum. Then the components are assembled with glued and/or mechanical fastened joints. The trims are cut on manual table saws, miter saws, sanders and other wood working machines to prepare and preassemble as necessary the components that require coating or varnishing. The materials used are of various kinds depending on the orders, i.e. prefinished solid wood or particle board types, and solid woods mostly requiring final coatings. Other materials include glazing, mechanical fasteners and various doors and drawer hardware, as well as countertops of a variety of materials (Arborite, Dupont Corian, or dimension stones such as marbles, granites, ceramics).

Good housekeeping is essential in such plants, to eliminate any dust or other contamination that would deteriorate in any way the quality of the finished product. Therefore, any environmental impact to the surrounds of the plant are eliminated.

The wood/material cutting, and processing machines are connected to a dust collecting system that takes out over 98% of the coarse and fine dust generated by the processing and handling. The dust collector is located outside the building on the north side. The dust collector is serviced/emptied within the enclosure such that there are no saw dust or dirt being handled outside, with the risk of littering/contaminating the surrounds.

The spray coatings and equipment are described below. The spray coating equipment filters and exhausts the air through the roof of the plant with stack heights of 7 meters or more.

4.4.2 Spray Coating Equipment & Process

The spray coating equipment will be used in the workshop to paint cabinetry components such as doors, drawer faces, trim sections, mouldings and similar assemblies. It is anticipated that the booth will be used only 12% of the working hours (over a year this would amount to periodic use for approximately 1 hour a day in 240 working days).

During operations, the exhaust fans will ventilate to the roof, after removal of the particulates and any volatile organic compounds through the installed filters. The air emissions will be minimal as the filters remove 99.85% of the particulates.

Like the majority of spray coating done in cabinet making, Elite Kitchens & Design Inc., will use water-based paints, coatings and varnishes. The paint to be used will be thinned latex (thinning is required to ensure smooth delivery through the paint sprayer) so that there will be minimal volatile emissions. The newest machines such as the Proponent will be buying and installing are designed to effectively reduce the overspray and the waste of coating products. Therefore, the scrubbing requirements of the exhaust air streams are correspondingly reduced.

The filters on the spray equipment and spray booth are replaced regularly using the highest quality filters. Again, the very high quality and appearance required of the finished products makes the coating process absolutely essential. Filters that have excessive air flow resistance will not produce adequate results with the coating operations and finishes. Consequently, the environmental impact of the air emissions to the surrounds of the plant is essentially eliminated.

The solid hazardous waste generated during the operation of the Booth will consist of paint cans containing paint residue. These will be disposed of as hazardous waste along with the other wastes generated at the facility through a licensed hazardous waste company (GFL Environmental Inc. and Enviro-Systems provide these services).

Non-recyclable solid waste (empty paint cans with minimal dried residue) will be deposited in a dumpster on the property (which will be leased from GFL Environmental Inc.). The waste is periodically collected by GFL Environmental Inc. and disposed of at the Robin Hood Bay landfill.

Elite Kitchens & Designs Inc. also uses a BECCA Solvent Recycler to recycle, reuse and reduce the amounts of waste solvents and coatings. Appendix 3 presents information on the BECCA unit.

No resource conflicts are anticipated. No adverse environmental impacts are expected.

4.5 OCCUPATIONS:

There will be no requirement for additional skilled employees to operate the spray coating equipment and hand spray booth. Existing operations and experienced staff of Elite Kitchens & Design Inc. will

simply move from their existing location at 860B Torbay Road to the new facility. In-house training for existing employees who will be using the mechanical spray booth will be provided by the supplier Venjakob North America Inc. and other Elite Kitchen & Design Inc. employees who will have experience with this equipment.

4.6 PROJECT RELATED DOCUMENTS:

The site and building architectural and engineering design are being done and are expected to be substantially completed by the end of November 2019. The consultants will generate and submit to the client and to all authorities having jurisdiction the design documents and all other documents required to obtain permits to build the building and develop the property as intended.

The list of documents and regulatory requirements are outlined in the Development Approval document issued by the Town of Torbay to the proponent.

5 APPROVAL OF THE UNDERTAKING

A Development Approval in Principle has been granted by the Town of Torbay to construct a commercial building to be used for kitchen cabinet manufacturing at 918 Torbay Road, as per letter issued to the proponent on 9 April 2019. The letter of approval includes a long list of about 60 conditions and regulatory requirements.

This letter is typical of a municipal approval to build conditional to meeting all other regulatory requirements from municipal, provincial and federal authorities having jurisdiction. A copy of the municipal approval document is presented in Appendix 4.

6 SCHEDULE

The construction of the building and initial site works are scheduled to start in December 2019, with a planned completion of the building envelope, exterior and interior finishes by May 2020. Interior outfitting of the building and installation of plant equipment would be done in June 2020 to have building occupancy by end of June 2020.

7 FUNDING

The project does not depend on any government funding. The Proponent is financing the construction of his new owner-occupied building with a combination of corporate funds and commercial lending.

The total capital cost of the project is less than \$5 million.

8 APPENDIX 1 – ARCHITECTURAL DRAWINGS

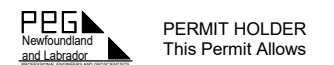


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Client:
Phil Snow

Project:
Elite Kitchens

Drawing Title:
Schedules

Drawing No.:
A001

| Wall Schedule | | | | | |
|---------------|------------|--|-------------|-------|--|
| Mark | Type Image | Description | Fire Rating | Width | Assembly (Exterior to Interior) |
| W1 | | Exterior Nudura Insulated Concrete Form Wall | 4hr | 310 | -Horizontal Vinyl Siding -Furring Strips @ 406mm o.c. -67mm Nudura Rigid Insulation -152mm Concrete Core -67mm Nudura Rigid Insulation -Furring Strips @ 406mm o.c. -12.7mm Gypsum Board |
| W2 | | 38x89 Interior Wood Stud Partition | 30 min | 115 | -12.7mm Gypsum Board -38x89 Wood Studs @ 406mm o.c. -12.7mm Gypsum Board |
| W3 | | 38x140 Interior Wood Stud Bearing Wall | 30 min | 166 | -12.7mm Gypsum Board -38x140 Wood Studs @ 406mm o.c. -12.7mm Gypsum Board |
| W4 | | Interior Nudura Insulated Concrete Form Wall | 4hr | 310 | -12.7mm Gypsum Board -Furring Strips @ 406mm o.c. -67mm Nudura Rigid Insulation -152mm Concrete Core -67mm Nudura Rigid Insulation -Furring Strips @ 406mm o.c. -12.7mm Gypsum Board |
| W5 | | 38x140 Exterior Wood Stud Wall | 30 min | 153 | -Horizontal Vinyl Siding -12.7mm Plywood Sheathing -38x140 Wood Studs @ 406mm o.c. -12.7mm Gypsum Board |

| Room Schedule | | |
|---------------|---------------------|--------------------|
| Number | Name | Area |
| 101 | Showroom | 174 m ² |
| 102 | Office | 14 m ² |
| 103 | Office | 11 m ² |
| 104 | File Room | 7 m ² |
| 105 | Office | 11 m ² |
| 106 | Lunch Room | 16 m ² |
| 107 | W.C. | 7 m ² |
| 108 | W.C. | 7 m ² |
| 109 | Manager's Office | 23 m ² |
| 110 | Stock Room | 20 m ² |
| 111 | Electrical Room | 15 m ² |
| 112 | Mechanical Room | 7 m ² |
| 113 | Garage | 110 m ² |
| 114 | Warehouse/Shop | 533 m ² |
| 115 | Spray Booth | 107 m ² |
| 116 | Drying Booth | 44 m ² |
| 117 | Hand Spray Booth | 34 m ² |
| 118 | Storage Room | 11 m ² |
| 119 | Rental Unit | 167 m ² |
| 120 | W.C. | 8 m ² |
| 121 | Dust Collector Room | 8 m ² |



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Client:
Phil Snow

Project:
Elite Kitchens

Drawing Title:
Schedules

Drawing No.:
A002

| Door Schedule | | | | | | |
|---------------|-------|-------|--------|-------------|------|-------------|
| Mark | Count | Width | Height | Description | Type | Fire Rating |
| 1 | 2 | 900 | 2350 | | | |
| 2 | 6 | 900 | 2350 | | | |
| 3 | 16 | 900 | 2000 | | | |
| 4 | 3 | 1186 | 2100 | | | |
| 5 | 3 | 3658 | 4267 | | | |
| 7 | 1 | 0 | 0 | | | |

| Window Schedule | | | | | | | | |
|-----------------|-------|-----------|------------|-------|--------|-------------|-------------|------|
| Mark | Count | RSO Width | RSO Height | Width | Height | Head Height | Description | Type |
| 1 | 7 | 1232 | 2045 | 1219 | 2032 | 2591 | | F |
| 2 | 3 | 1232 | 1539 | 1217 | 1524 | 2032 | | FV |
| 3 | 2 | 1232 | 1537 | 1219 | 1524 | 2439 | | F |
| 4 | 5 | 1842 | 622 | 1829 | 610 | 3353 | | F |
| 5 | 4 | 1842 | 1537 | 1829 | 1524 | 2591 | | F |



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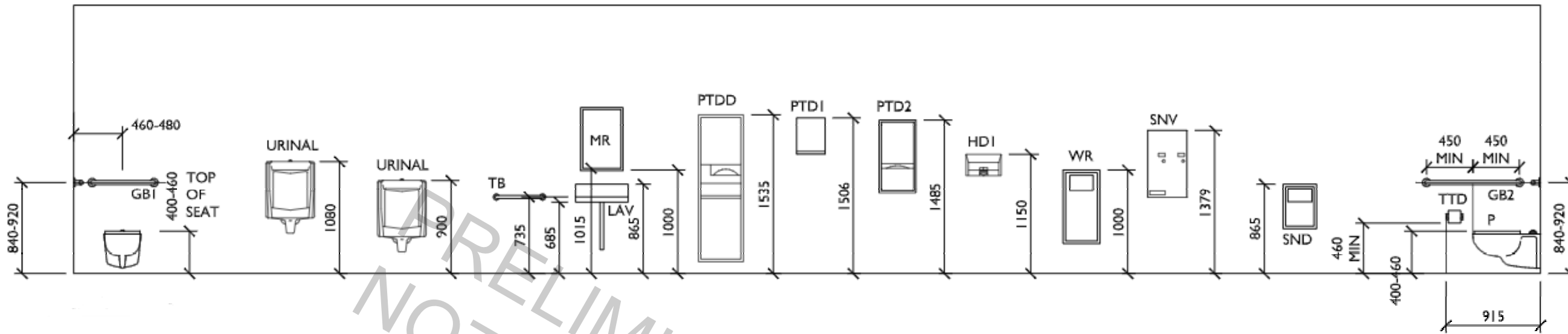
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Client:
Phil Snow

Project:
Elite Kitchens

Drawing Title:
Accessibility Legends

Drawing No.:
A003



1 Typical Accessibility Fixtures Legend
 A003 1 : 1

- FD - FLOOR DRAIN
 - GB - GRAB BAR
 - MR - MIRROR
 - SD - SOAP DISH
 - P - CLOSED COUPLED TOILET
 - PTDD - PAPER TOWEL DISPENSER/DISPOSAL
 - PTD - PAPER TOWEL DISPENSER
 - WR - WASTE RECEPTACLE
 - SNV - SANITARY NAPKIN VENDOR
 - SND - SANITARY NAPKIN DISPOSAL
 - TTD - TOILET TISSUE DISPENSER
 - FSS - FOLDING SHOWER SEAT
 - TB - TOWEL BAR
 - CH - COAT HOOK
 - SR - SHOWER ROD
 - SC - SHOWER CURTAIN
 - HD - HAND DRYER
 - HD2 - HAIR DRYER
- PLEASE NOTE THAT NOT ALL
 FIXTURES SHOWN ARE USED. REFER
 TO PROPOSED PLANS FOR SPECIFIED
 FIXTURES AND FITTINGS.

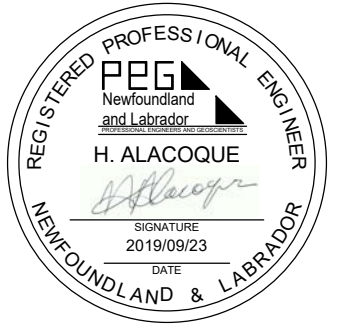
2 Typical Detail Legend
 A003 1 : 1

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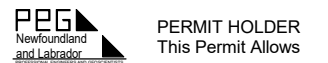


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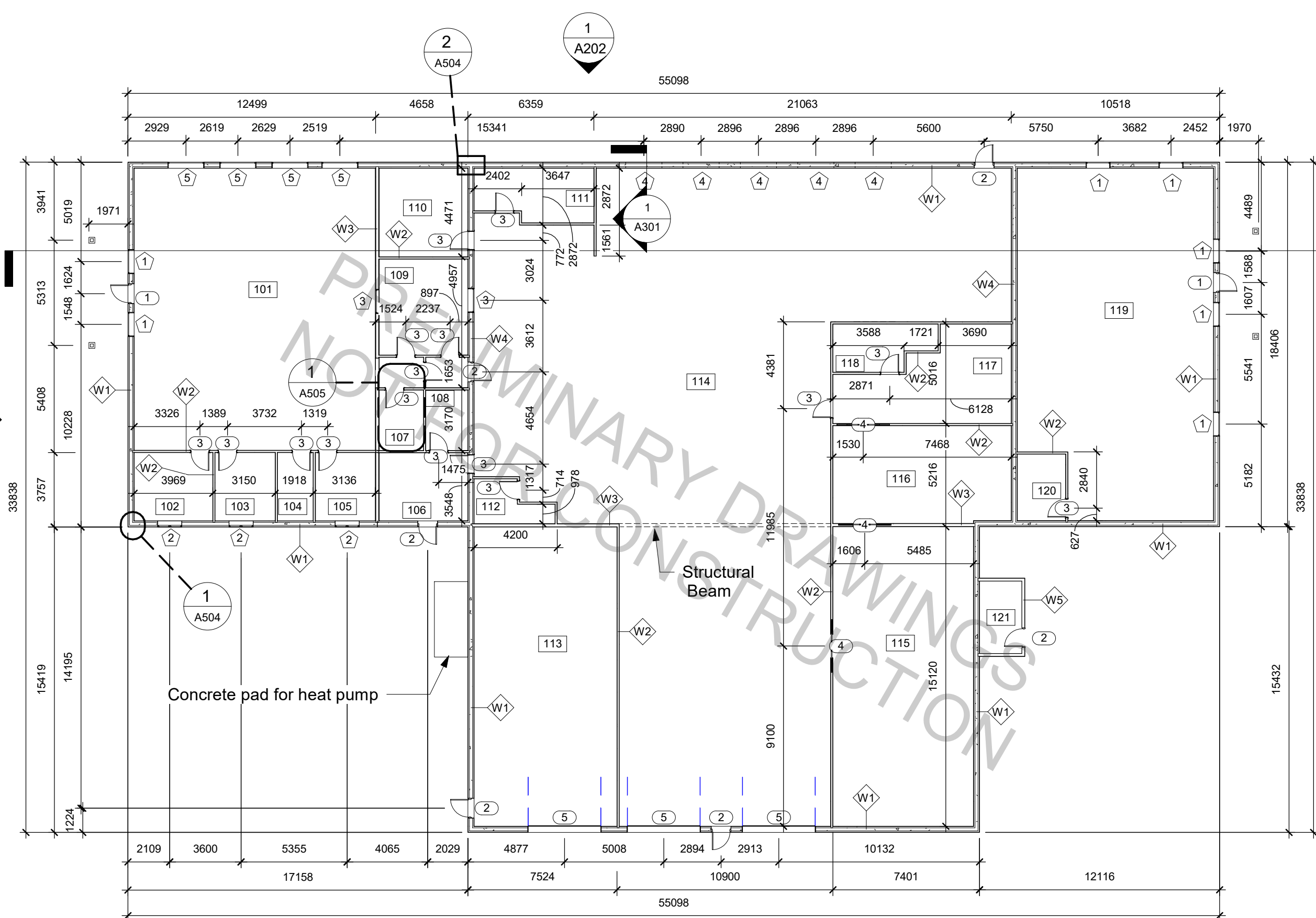
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Client: **Phil Snow**

Project: **Elite Kitchens**

Drawing Title: **Floor Plan**

Drawing No.: **A101**



2
A201

1
A504

2
A504

1
A202

1
A301

1
A201

3
A201

2
A202

1
A101
Elite Kitchens Layout
1 : 200



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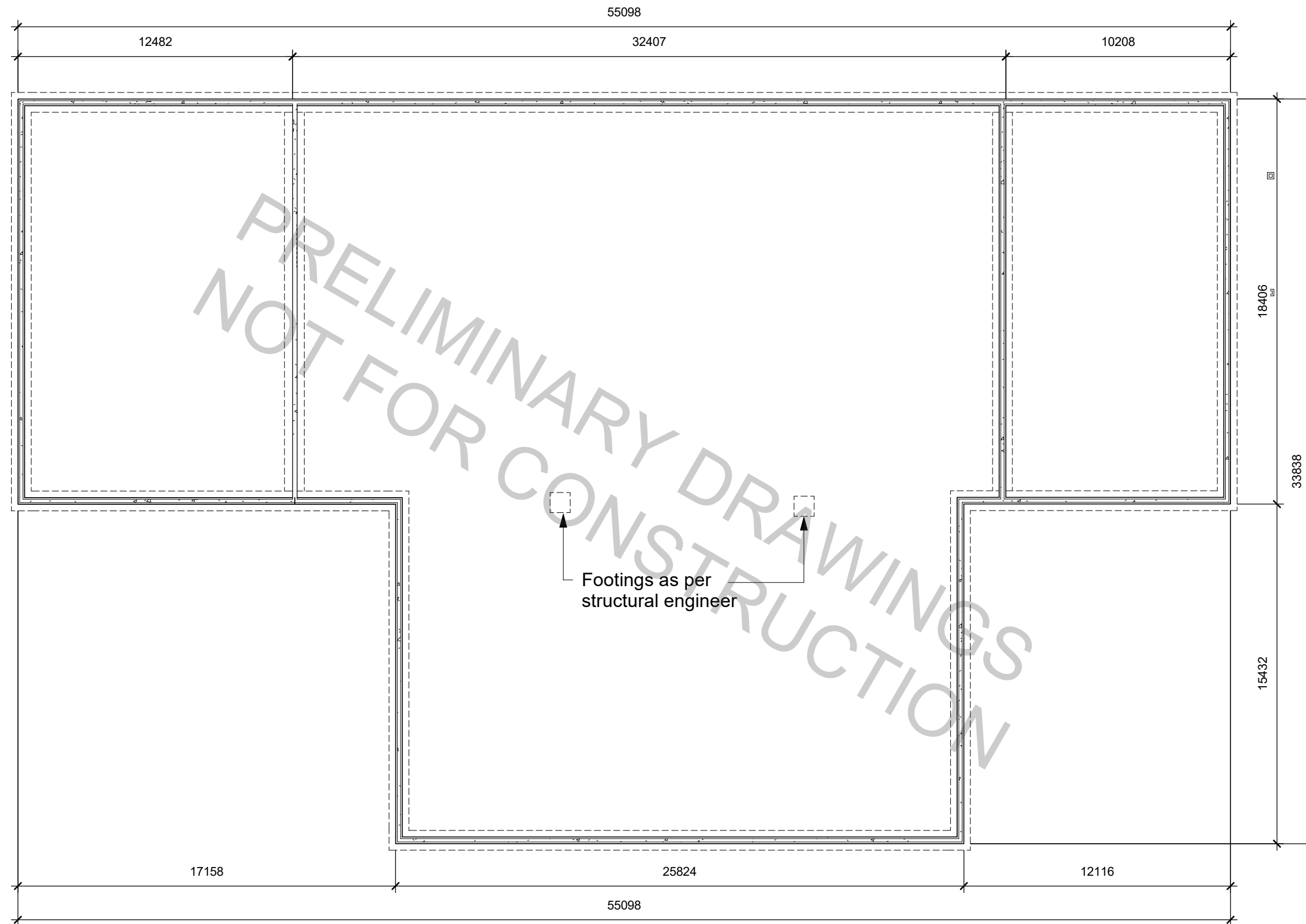
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Client:
Phil Snow

Project:
Elite Kitchens

Drawing Title:
Foundation Plan

Drawing No.:
A102



1 Foundation Plan
A102 1 : 200



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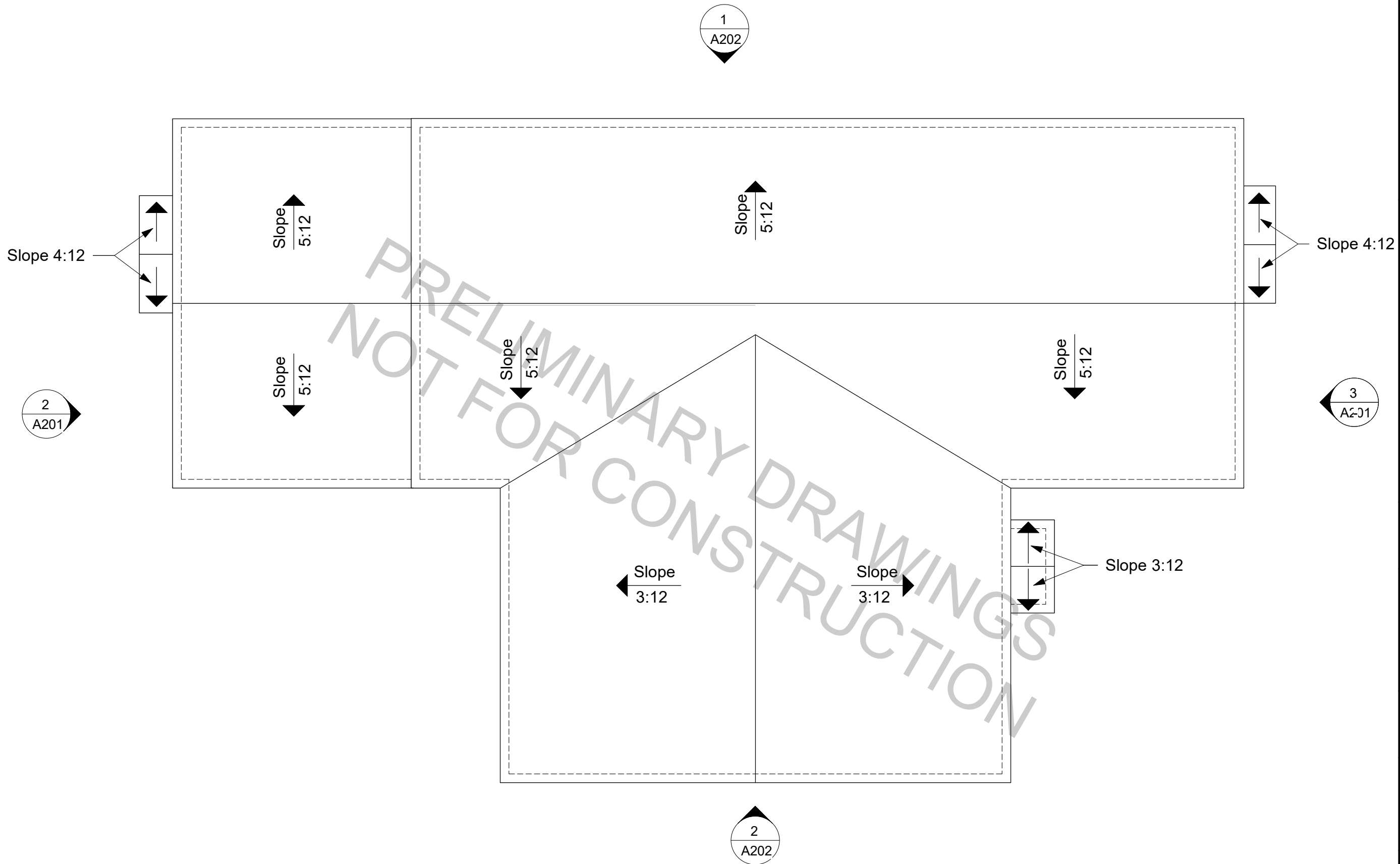
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Client:
Phil Snow

Project:
Elite Kitchens

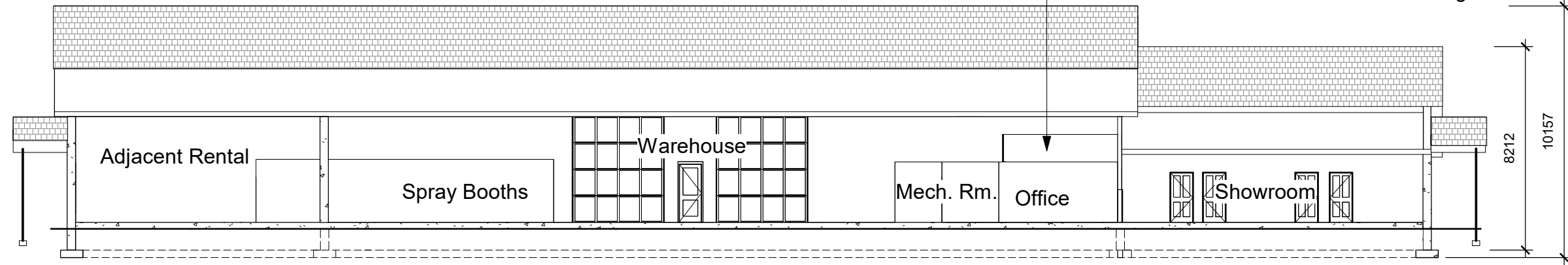
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Roof Plan

Drawing No.:
A103

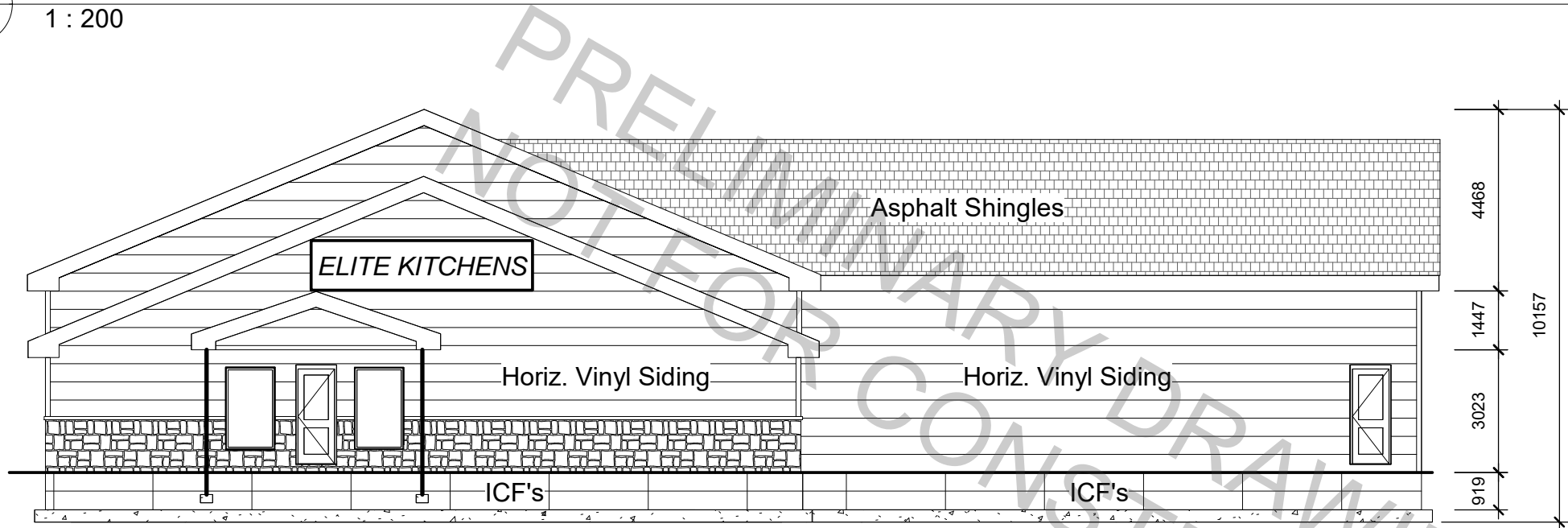


1 Roof Plan
A103 1 : 200

Note: This is an area above office/storage rooms that will serve as a storage area.

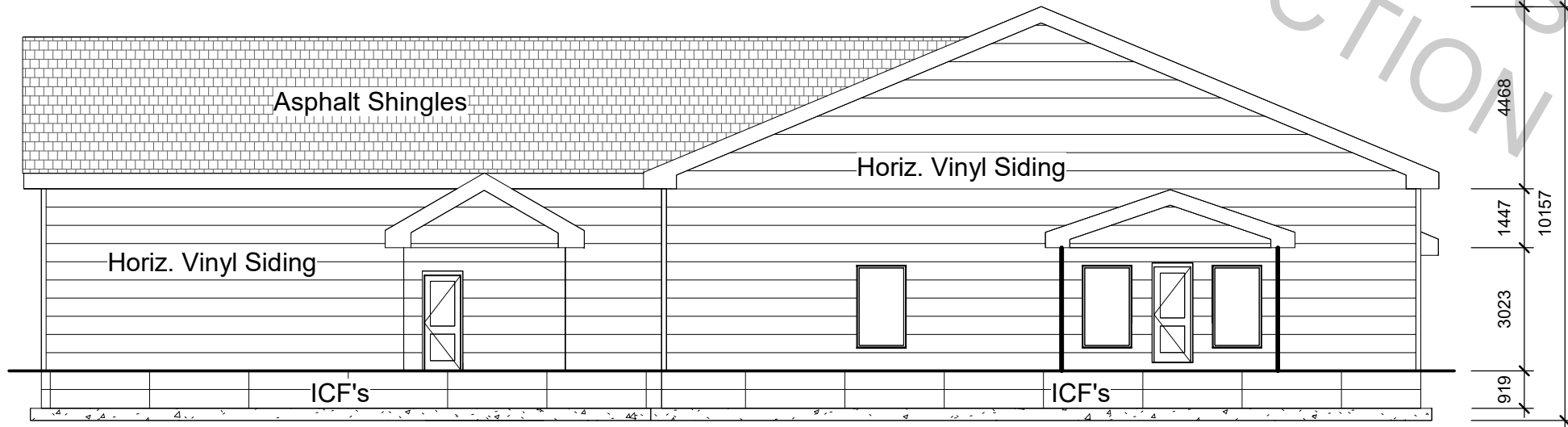


1 Building Section
A201 1 : 200



2 Front Elevation
A201 1 : 150

- Top of Roof 8938
- Top of Warehouse 4470
- Top of Showroom 3023
- Top of Window Openings 2439
- Top of Slab On Grade 200
- Finished Grade 0
- Bottom of Footing -1219



3 Rear Elevation
A201 1 : 150

- Top of Roof 8938
- Top of Warehouse 4470
- Top of Showroom 3023
- Top of Window Openings 2439
- Top of Slab On Grade 200
- Finished Grade 0
- Bottom of Footing -1219



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Client:
Phil Snow

Project:
Elite Kitchens

Drawing Title:
Building Section/Elevations

Drawing No.:
A201



Innovative Development & Design Engineers Ltd.

Anderson House, 42 Power's Court
St. John's, NL A1A 1B6
Tel: (709) 368-8870
www.iddel.ca



PROVINCE OF NEWFOUNDLAND AND LABRADOR

PERMIT HOLDER
This Permit Allows

Innovative Development & Design Engineers Ltd.

To practice Professional Engineering
in Newfoundland and Labrador,
Permit No. as issued by PEGNL N0428
which is valid for the year 2019

Checked By: HA
Drawn By: DR
Issue Date: 2019-10-02 9:08:10 AM

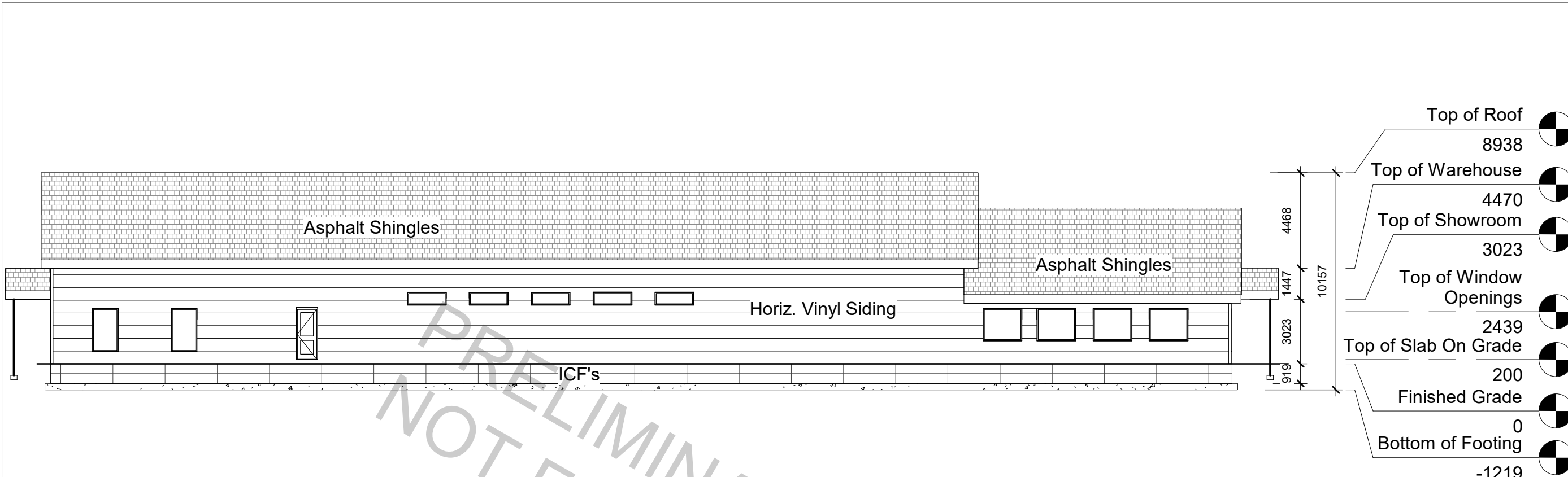
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Client:
Phil Snow

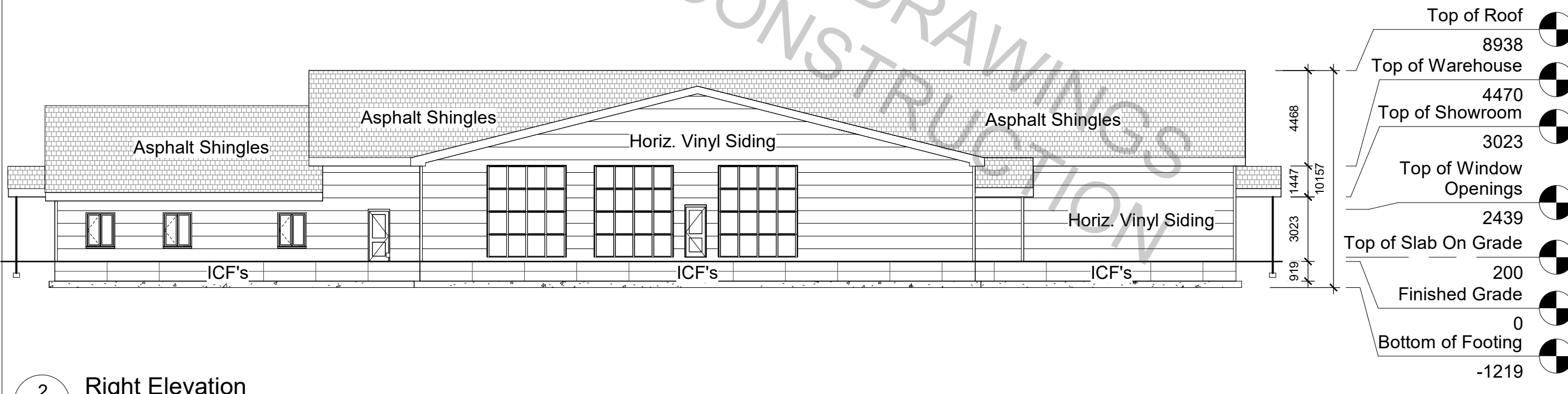
Project:
Elite Kitchens

Drawing Title:
Elevations

Drawing No.:
A202



1 Left Elevation
A202 1 : 200



2 Right Elevation
A202 1 : 200

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

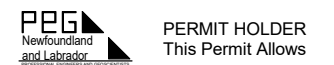


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Client:
Phil Snow

Project:
Elite Kitchens

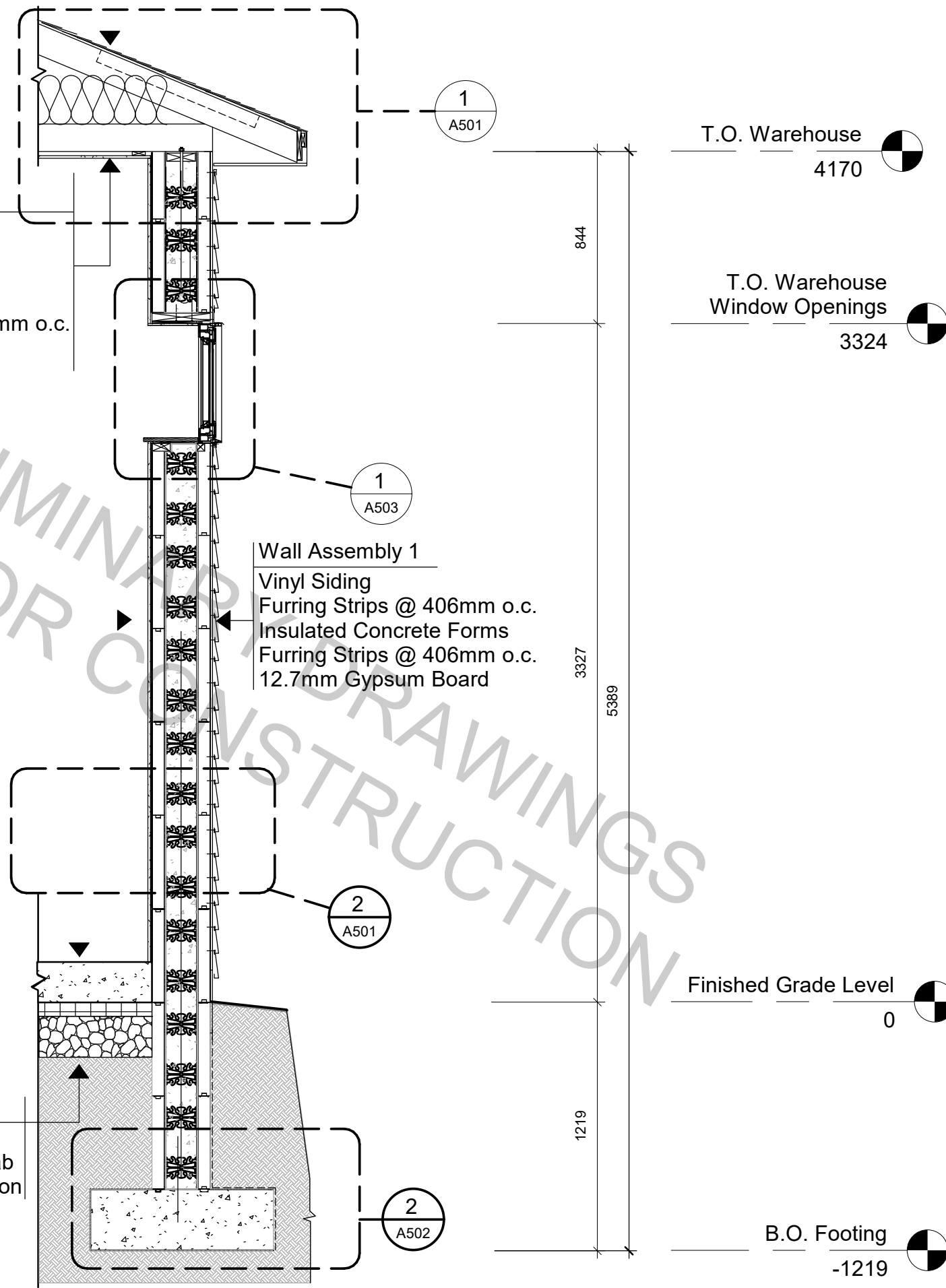
Drawing Title:
Wall Section

Drawing No.:
A301

Roof Assembly 1
Asphalt Shingles
13mm Plywood Sheathing
Pre Engineered Roof Trusses
RSI 8.81 Blown In Insulation
19x64 Wood Strapping @ 406mm o.c.
13mm Gypsum Board

Wall Assembly 1
Vinyl Siding
Furring Strips @ 406mm o.c.
Insulated Concrete Forms
Furring Strips @ 406mm o.c.
12.7mm Gypsum Board

Floor Assembly 1
Finished Floor
200mm Concrete Slab
Nadura Floor Insulation



1
A301 **Wall Section**
1 : 25



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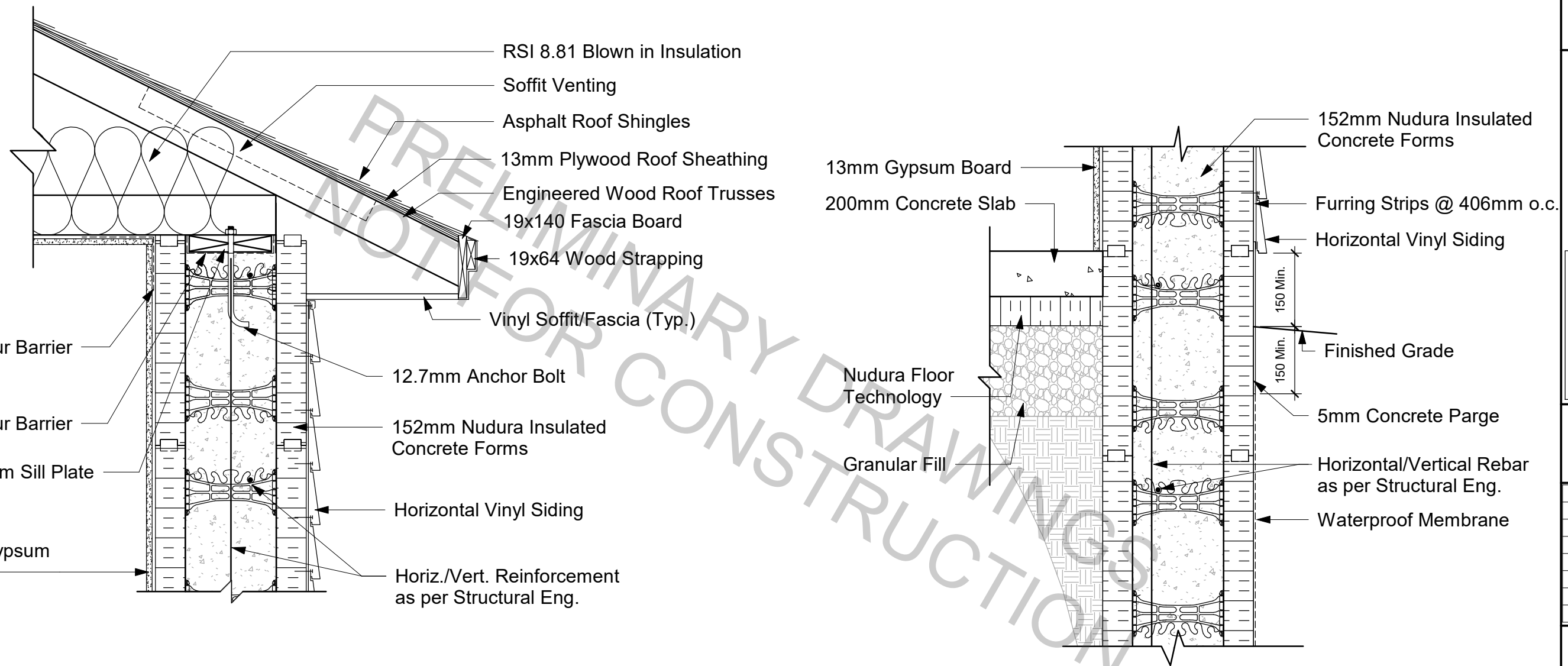
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Client:
Phil Snow

Project:
Elite Kitchens

Drawing Title:
Roof/Floor Details

Drawing No.:
A501



1 Roof Detail
 A501 1 : 10

2 Floor Detail
 A501 1 : 10



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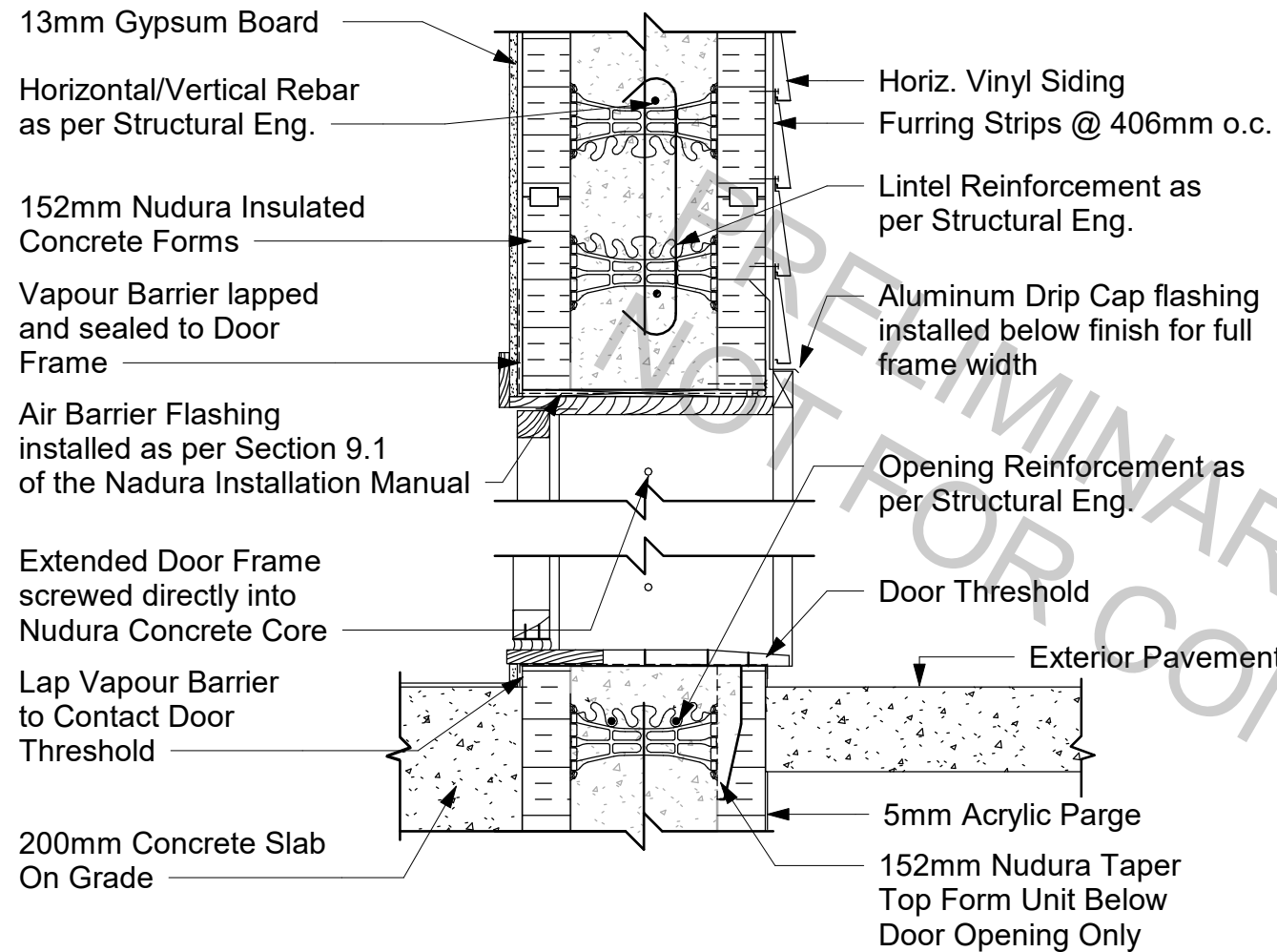
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Client:
Phil Snow

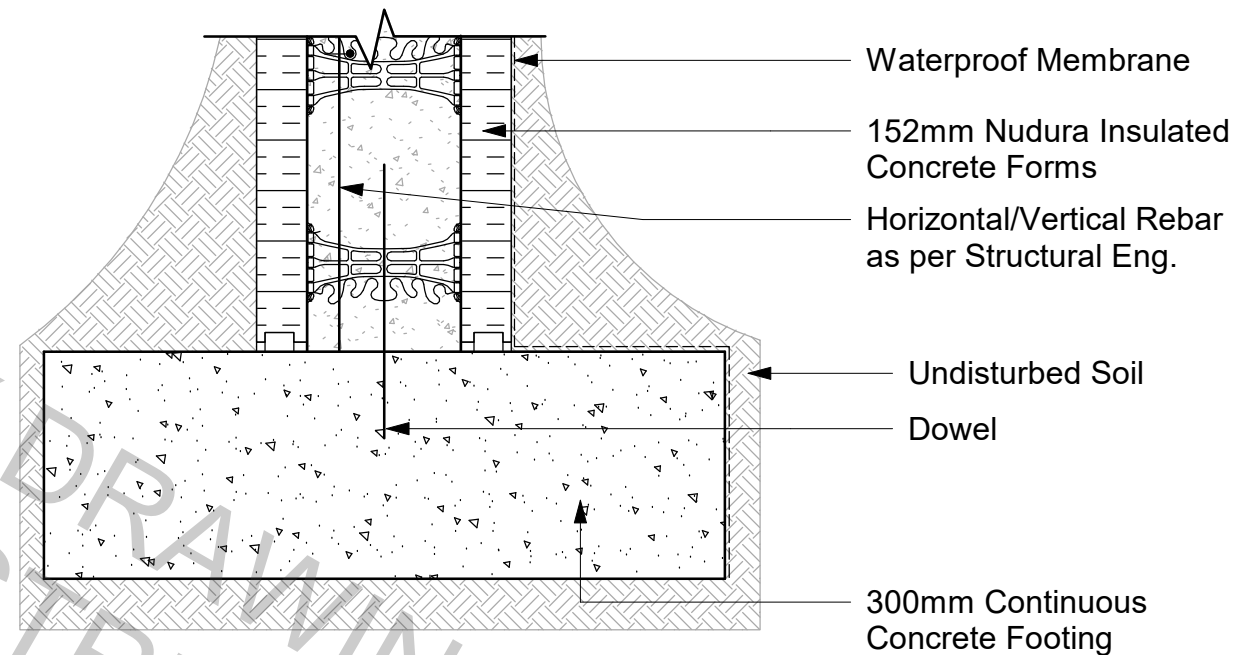
Project:
Elite Kitchens

Drawing Title:
Door/Footing Details

Drawing No.:
A502



1 Door Head/Threshold Detail
 A502 1 : 10



2 Footing Detail
 A502 1 : 10

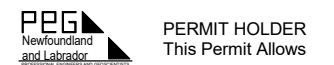


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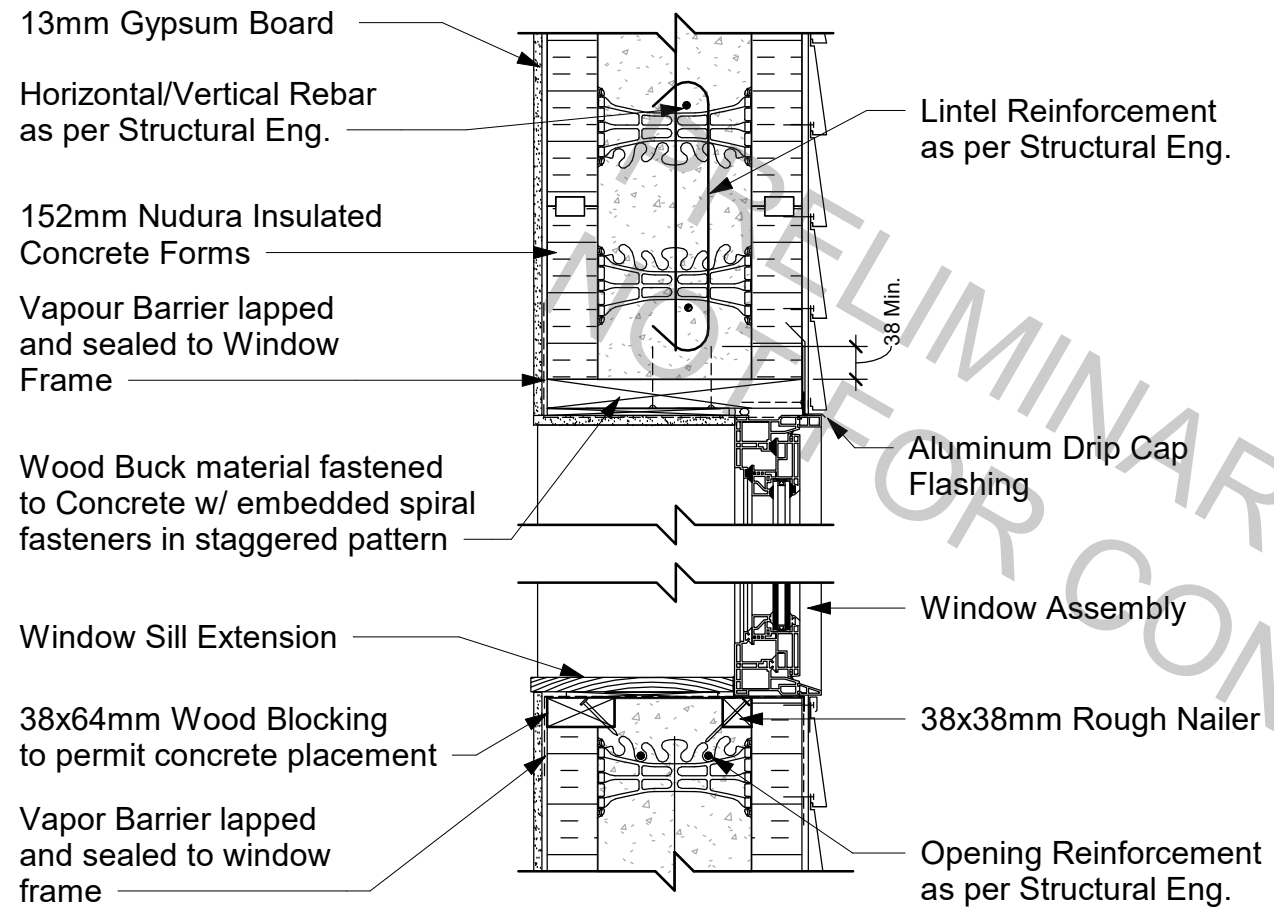
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Client:
Phil Snow

Project:
Elite Kitchens

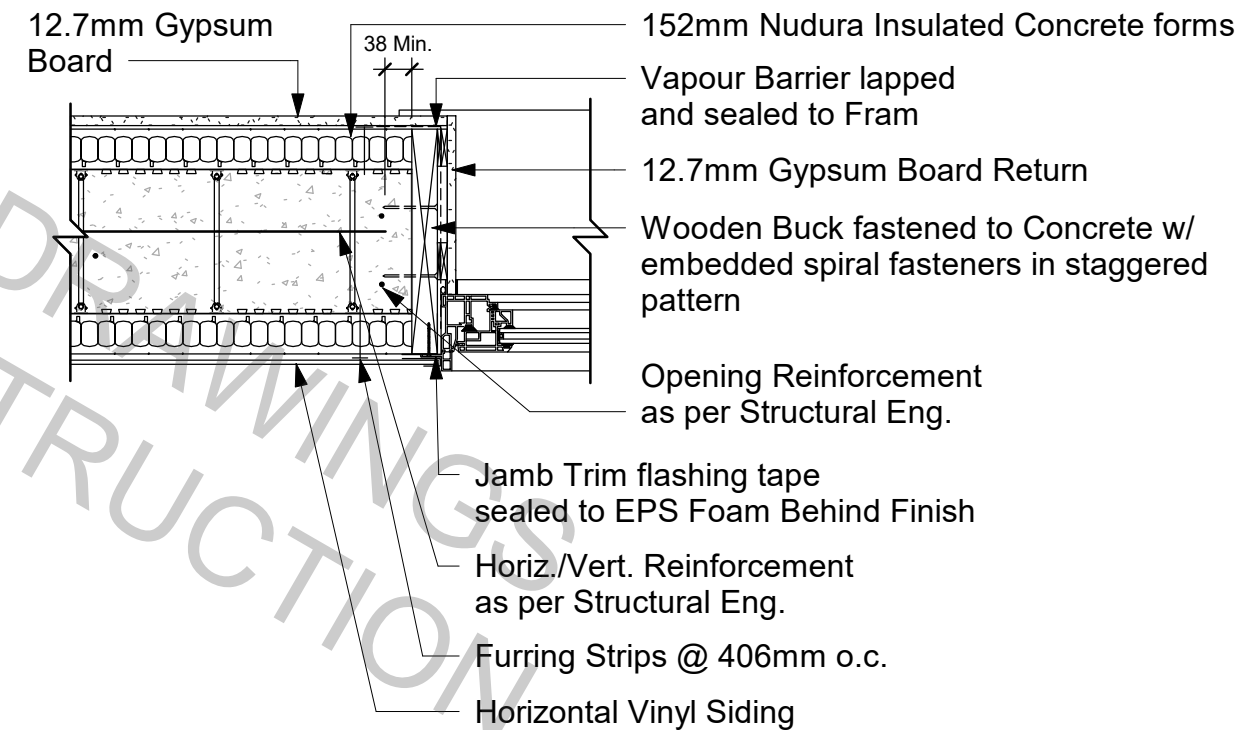
Drawing Title:
Window Details

Drawing No.:
A503

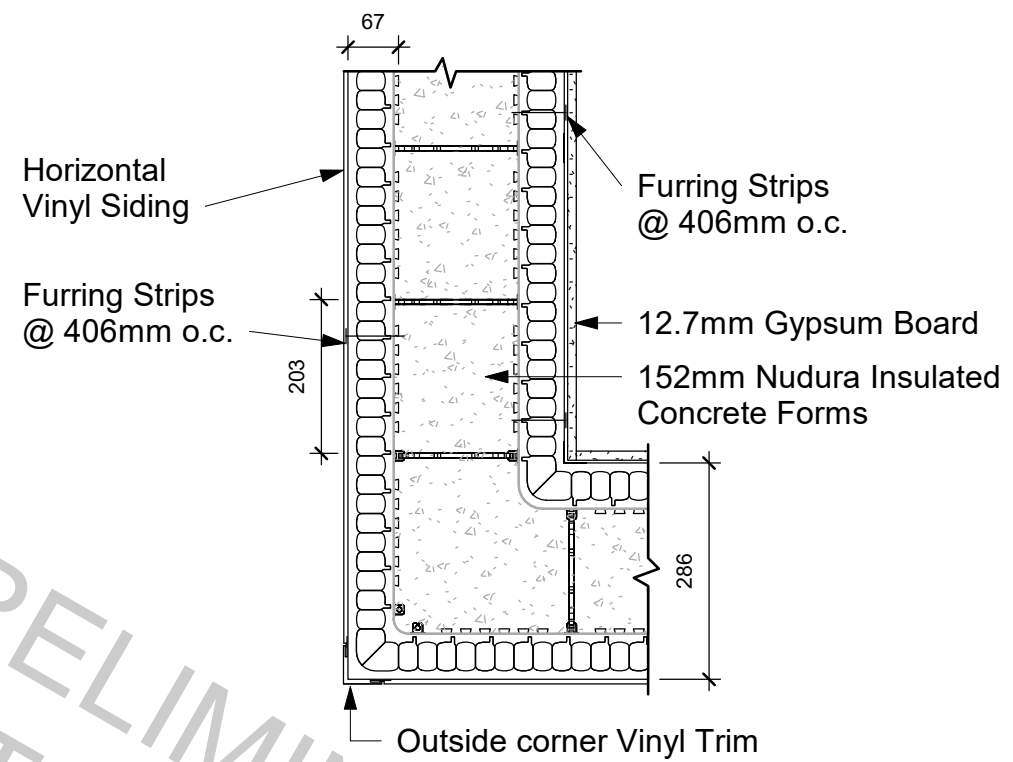


NOTE: Air barrier/drainage flashing to be installed around complete opening perimeter as per Section 9.1 of the Nudura Installation Manual or as detailed by local applicable codes

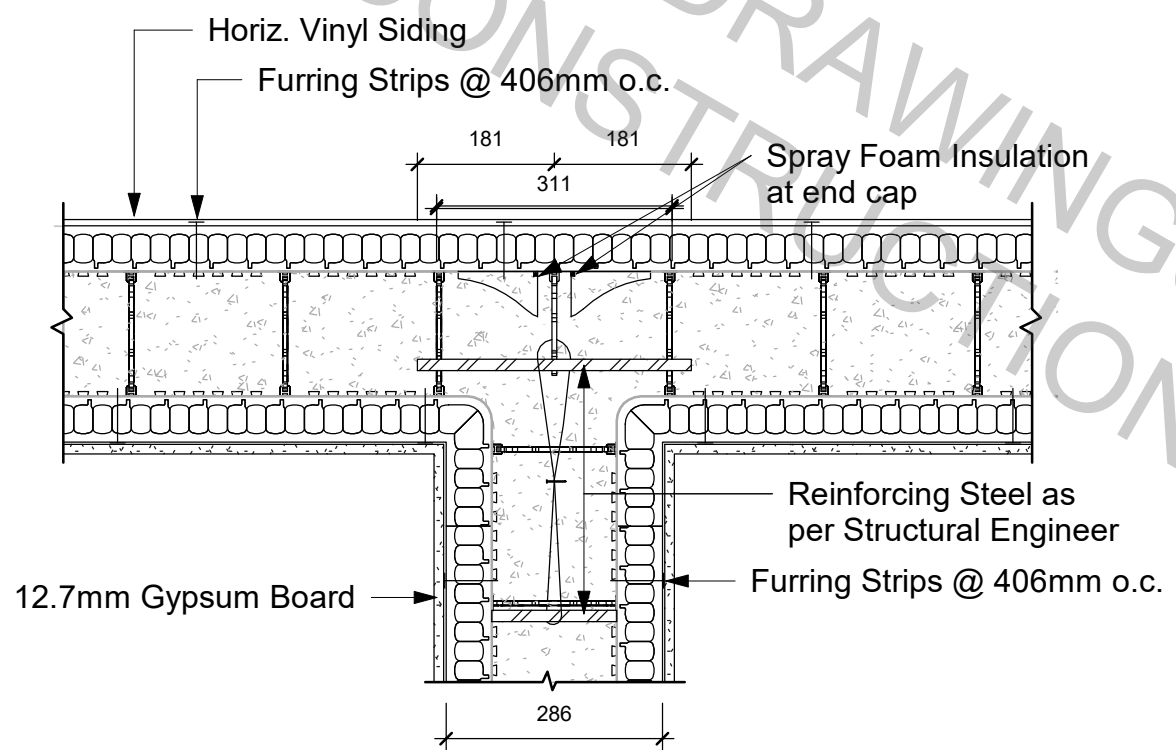
1 Window Sill Detail
 A503 1 : 10



2 Window Jamb Plan Detail
 A503 1 : 10



1
A504 90 Corner Plan Detail
1 : 10



2
A504 T-Intersection Plan Detail
1 : 10



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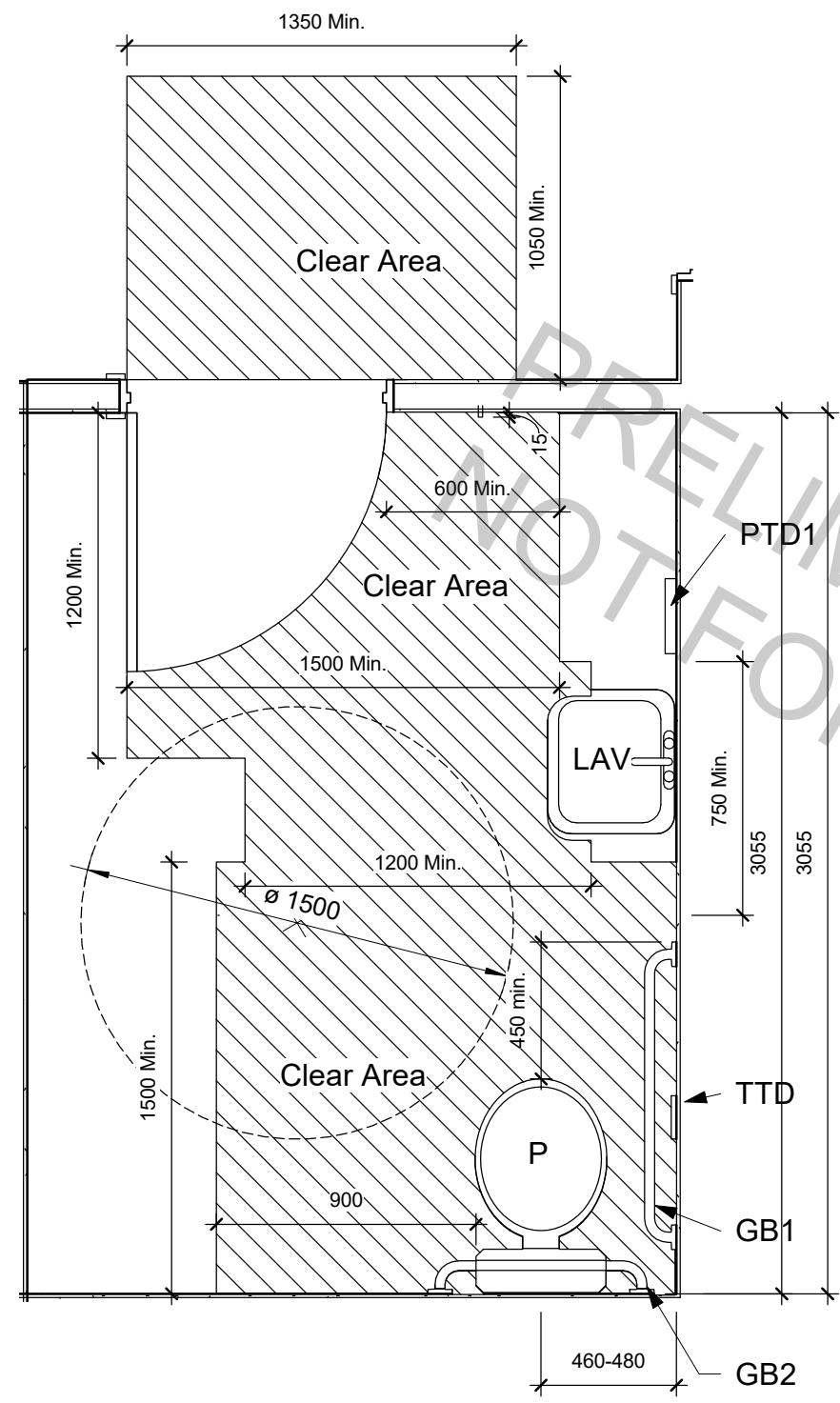
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Client:
Phil Snow

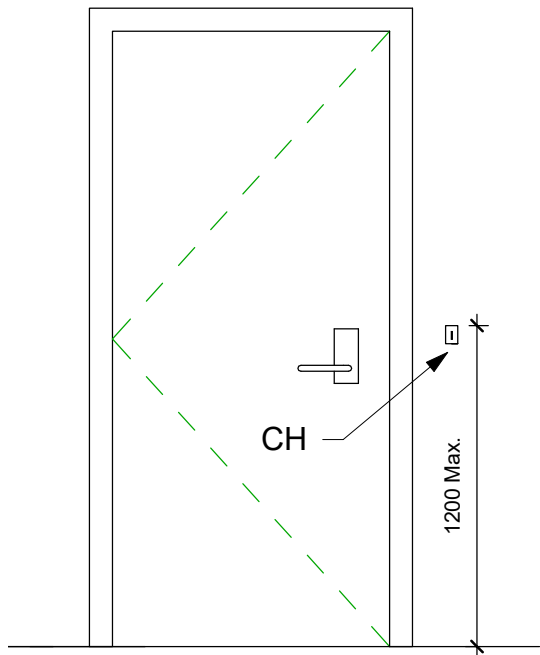
Project:
Elite Kitchens

Drawing Title:
Plan Details

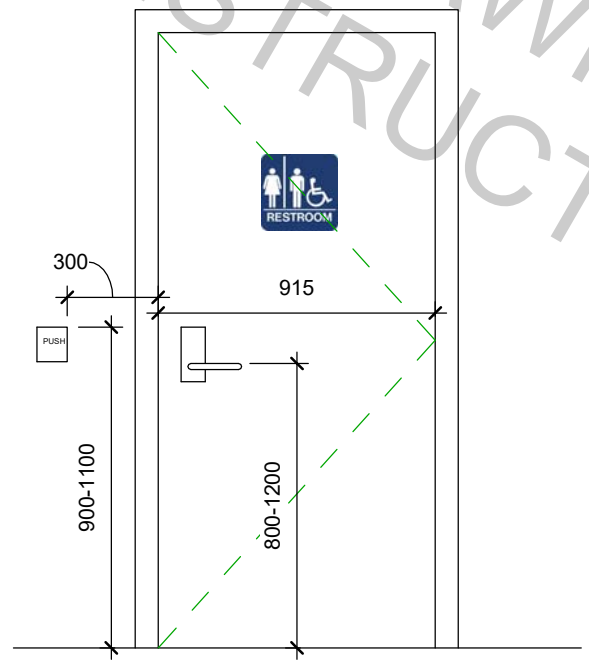
Drawing No.:
A504



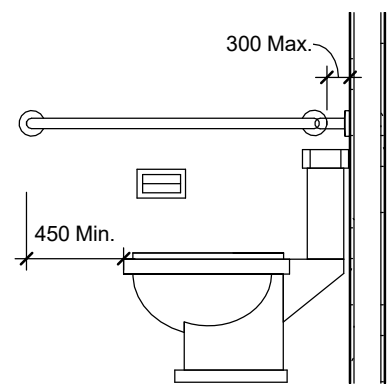
1 Enlarged Washroom Plan
A505 1 : 25



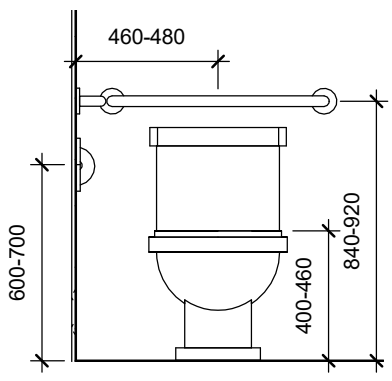
2 Coat Hook Location
A505 1 : 25



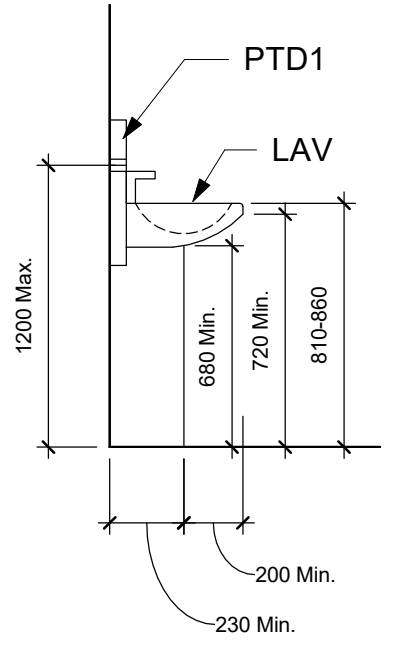
3 Door Operator Location
A505 1 : 25



4 Typical Toilet Detail 1
A505 1 : 25



5 Typical Toilet Detail 2
A505 1 : 25

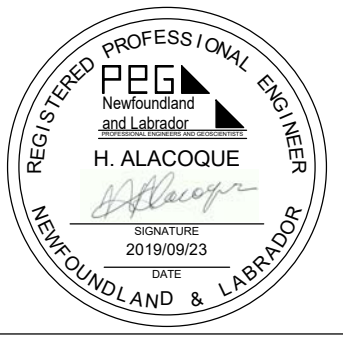


6 Typical Vanity Detail
A505 1 : 25



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Client:
Phil Snow

Project:
Elite Kitchens

Drawing Title:
Enlarged Washroom Plan/Accessibility Details

Drawing No.:
A505

9 APPENDIX 2 - VEN SPRAY SMART SPRAY COATING MACHINE



NORTH AMERICA INC.

Venjakob North America Inc. 670 Hardwick Rd. Unit#5
Bolton, Ontario Canada L7E R5R

Elite Kitchens&Design Inc.
Mr. Philip Snow
860B Torbay Road
A1K 1A2 TORBAY, NL
CANADA

| | |
|------------------|----------------------------------|
| Order No: | A1411012 |
| Project: | Spray Machine |
| Bolton, | 29.09.14 |
| Your contact: | Heiner Schlatter |
| Direct line: | 905-951-9966 |
| Cell: | 416-602-1845 |
| Fax | 905-951-9907 |
| Our sign: | SR |
| eMail: | hschlatter@venjakob-north-am.com |

Hello Phil,

Referring to your mail from Thursday 18th of October we kindly like to present you our order confirmation for a Venjakob spray machine model **VEN SPRAY SMART** with paper belt transport system, with an additional infeed belt and a cleaning unit **VEN CLEAN SMART**

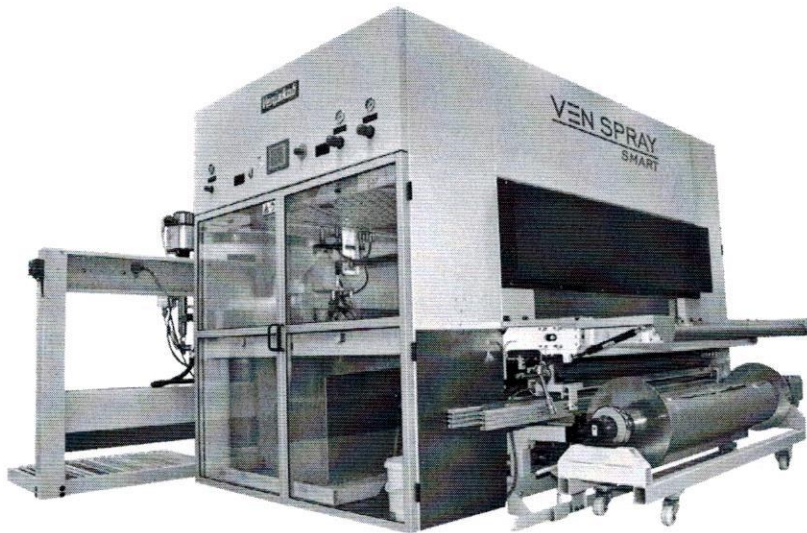
I hope this finds you well, please sign and date the back page and return to us.

With kind regards

Heiner Schlatter

VENJAKOB North America Inc.

Pos. 2 SPRAY MACHINE VEN SPRAY SMART



The unit comprises:

1 Spray Cabin

The cabin housing is made of a sturdy sheet steel construction. Large glass folding doors are situated on the operating side of the machine for easy access and visual control of the lacquering process. Fluorescent lighting illuminates the spraying area. Additional inspection doors are fitted at the rear of the machine. The doors are fitted with safety switches.

An operating panel with all relevant controls and gauges is mounted above the folding doors.

1 Spray Gun Drive System "Z 10"

A strengthened high-performance linear drive unit mounted in the centre of the spray machine. The linear unit is fully enclosed and integrated in the supply air roof to prevent damage due to ingress of paint spray or dirt. The running unit (spray gun carrier) is constructed of warp-resistant alloy with heavy duty roller bearing running wheels and is driven by a toothed belt. This construction ensures a uniform spray gun speed across the entire working width. Spray gun speed is infinitely adjustable from 0,4 – 2,0 m/sec (Max. 25 double strokes / minute). The acceleration and deceleration of the gun drive is automatically adjusted according to the speed, giving a smooth spray gun movement. The unit drive is a servo motor. The gun carrier is height adjustable and the spray guns individually adjustable.

1 Exhaust System "DRY 7000"

Constructed of galvanised steel,

The line comprises the following devices:

Pos. 1 1 DUST CLEANING DEVICE VEN CLEAN SMART

The dust cleaning device for removing dust from the profiled panel surface by compressed air is fitted into a closed housing.

Six rotating blowers are lifting the dust from the panel. Two suction nozzles are connected to the central dust extraction.

The parts are conveyed on a driven roller conveyor section.

1 electrical control cabinet

As a free standing unit. With all the necessary switching and security elements, motor protection switches.

Technical data:

| | |
|------------------------------|------------------------|
| Length: | 2060 mm |
| Roller pitch: | 85 mm |
| Total width: | 1800 mm |
| Drive power: | 0,75 kW |
| Exhaust air volume required: | 4500 m ³ /h |
| Compressed air consumption: | 980 NI/min |

extension of roller conveyor by 2000 mm

for easy loading of components.

Consisting of:

2 extraction chambers are mounted on each side of the transport belt. Each chamber is fitted with primary paper filters and secondary fibre filters, both are easily removable. The extraction chambers are connected to the main exhaust chamber under the transport belt.

1 Free-Standing Exhaust Ventilator

Exhaust Volume; 7.000 m³/h (approx 4.120 cfm)

1 Light Barrier Control Type "LS 25"

For the automatic control of the spray guns. The control recognises the loading width of the work pieces, and activates the individual spray guns accordingly. Control and operation of the machine is via Touch Panel. Numerous spray programs can be set and stored for future use in the control unit. (Type; Siemens S7)

1 Electrical Control Cabinet

Executed as a free-standing unit next to the infeed of the machine. It is equipped with all necessary switch and safety elements, motor protection units, control lamps and main switch. The unit is cooled by axial fans. All components are connected to terminal clamps. The unit includes 5m connecting cables and cable trays.

1 Filtered Air Supply Roof AV

Fully integrated in the upper cabin. The filtered air is directed downwards over the spray area to the extraction chambers. Filters are easy to remove.

Unit consists of;

2 Axial Supply Ventilators with adjustable air flow

2 Stage Filtration, Filter class G4 / F3

1 Conveyor Belt System

This allows operation of the machine with a "Paper Conveyor" or with a scraper and belt washer system.

The unit consists of:

1 Infeed roller section

1 Endless conveyor belt, sealed surface and solvent resistant with pneumatic tracking

1 Outfeed roller section

The conveyor drive is via frequency converter

1 Paint Supply Circuit NW 6

For the supply of 4 spray guns. Executed as a ring rinsing circuit for quick colour changes. Including rinsing valve, 4 spray gun mounts, solenoid valves, material and air lines.

Technical Data:

Working width: 1300 mm (52 inches)

Pos. 6 SHIPPING

DAP, According to Incoterms 2010, 860B Torbay Road, Torbay, NL
AK1 1A2 Canada

Total net Price: _____

SALES CONDITIONS:**Execution of components:**

The line / machine are produced respecting the harmonized European norms. Are harmonized European norms not available, the European norms or German safety standards are valid.

For complete machines /plants 2006/42/EG, Article 1 (a-f) a declaration of conformity will be executed.

For incomplete machines / plants 2006/42/EG, Article 1 (g) a Declaration of Incorporation will be made.

Explosion proof design:

The plant is executed with explosion proof equipment in the designated hazardous areas according to valid German PTB regulations. The control cabinet is not explosion proof and has to be positioned outside any hazardous regarded area.

American standards

The plant is executed with explosion proof equipment in the designated hazardous areas according to valid UL / CSA standards. The control cabinet is not explosion proof and has to be positioned outside any hazardous regarded area.

Supply Voltage: 3/480/110V - 60 Hz

Control Voltage: 24V

Wiring material:

Wiring material required between machines and control cabinet is included in the supply. Cable trays are not included in the offer.

Exhaust air tubing:

The exhaust tubes are not included in the supply. The exhaust tubes need to be sealed.

Also the compressed air and heating supplies are not included in the offer.

It is important, that the finishing line is supplied with sufficiently filtered process air.

Standard elements used:

To ensure the function of the line all components of the line are selected by us. If different component fabricates are requested, this needs to be confirmed by us. The test of the insulation and balance of potential needs to be done by customer.

Shipment requirement:

1 x 40 ft Box Container

Price basis:

DAP according to INCOTERMS 2010, excluding installation and commissioning charges. Any Local taxes have to be added will be the responsibility of the customer . If necessary any permits that are required to be obtained are the responsibility of the customer along with the associated costs.

Delivery conditions:

According to ORGALIME S 2000.

Warranty:

On the machinery supplied we grant a warranty time of 12 months or 1760 operational hours from the date of transfer of risk. Excluded from warranty are wear parts (i.e. Nozzles, seals membranes,)
Possible warranty cases are depending on regular daily maintenance as well as every half year maintenance by our technicians.
Warranty claims exceeding the given times are possible if maintenance contracts are made with us.

The warranty is valid only for cases of normal use of the equipment. It excludes cases which are caused by modifications which have not expressly agreed by us.

Payment conditions:

30% deposit payable with order and receipt of invoice.
60% due to pay after information to buyer that main components of the order are ready for shipment.
10% within one month after transfer of risk, latest 30 days after delivery.

Property regulation:

All delivered goods remain in the possession of Venjakob Maschinenbau GmbH & Co KG until we have received full payment. An extended ownership claim is expressly valid until the line is paid completely.

10 APPENDIX 3 – BECCA SOLVENT RECYCLER



BECCA[®] Solvent Saver[™]

Solvent Recycler
HC (6 Gal) & SC (3 Gal)

*The
Professionals
Choice*

SOLVENT SAVER[™]

Benefits

- Reduces your Solvent Purchases
- Reduces Your Hazardous Waste Generation
- Able to process Conventional, Alternative & Waterborne Solvents
- Listed Class I Division 1 Requirements
- CSA Listed to UL2208
- Fully Automated Cycle
- 2 Year Warranty—Longest in the Industry
- **BECCA Care[™]** - Local sales, installation, training and service



Ask us about
our FREE test
of your waste
solvent for
evaluation



CSA Listed per UL2208—Std for Solvent
Distillation Units & for Class I Div 1

Environmentally Sound Equipment Solutions for the Finishing Specialist



BECCA®

It's all about improving your productivity, finishing quality, & saving money.

In today's environment, operations know the meaning of efficiency, reduced cycle time and variable cost reduction.

BECCA continues to redefine what a Solvent Recycler supplier should do for its customers:

Help Customers Succeed

Deliver Quality Products

Bring the Latest in Technology

Provide the Best Service

Let us show you the **BECCA Care™** way!

Product Specifications

Boiler Capacity: HC-6 Gal (27l) / SC-3 Gal (13 l)

Working Temp: 104-393°F (40-200°C)

Heating : Indirect - Thermic Oil

Cooling : Air-Fan

Recovery Rate: 95-100%

Electrical: 220 Volt 1 Phase

Amperage: HC-10 Amp / SC-5 Amp

Dimensions: 43"H x 33"W x 26" D

Construction: Class I Div 1 Explosion Proof, Stainless Steel Tank & Lid, Ultra Powder Coat Finish, One Touch Controls

Operating Time: 3-6 Hours

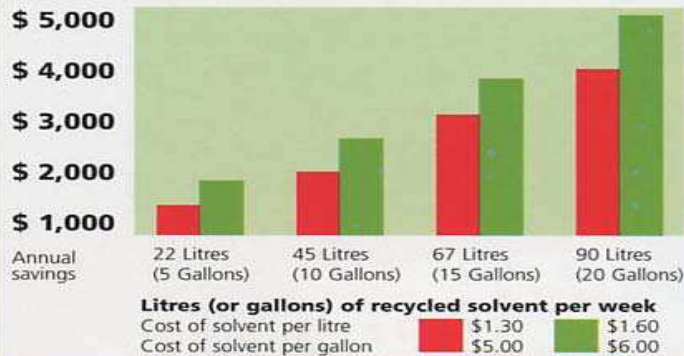
Weight: 260 lbs.

Shipping: Freight



Generate substantial savings and less waste hazardous to the environment!

Savings generated from solvent recovery (95% rate)



The NEXT GENERATION of SOLVENT RECYCLERS

BECCA has created the finest system for reducing your solvent purchases and your Hazardous Waste generation! The BECCA Solvent Saver™ is simply the most practical, cleanest and most cost effective solution for your solvent recovery needs.

Through a distillation process, the BECCA Solvent Saver™ separates contaminants from the original solvent. The result is clean, distilled solvent ready for reuse.

Processed residues from the distillation and recycling of solvents solidify and remain in a special bag for safe and easy disposal.

Caution! - Do not use with products containing Nitrocellulose



2010 Cobb International Blvd
Suite H
Kennesaw, GA 30152
T 800. 655.5649
F 800. 655. 5684
www.beccainc.com
sales@beccainc.com

For More Information go to www.beccainc.com

11 APPENDIX 4 – DEVELOPMENT APPROVAL – TOWN OF TORBAY



April 9, 2019

File No.: C2019-025

Philip Snow
PD Snow Holdings
88 Eastbourne Crescent
St. John's, NL A1A 5N1

Dear Mr. Snow:

Re: *Application to construct a commercial building to be used for kitchen cabinet manufacturing at 918 Torbay Road*

Your development application dated April 3, 2019 to develop and erect a commercial building to be used for kitchen cabinet manufacturing at 918 Torbay Road was considered and conditionally approved. **APPROVAL IN PRINCIPLE** is hereby granted subject to the following conditions:

1. The development shall conform to the requirements of the Commercial Main Street (CM) Land Use Zone of the Torbay Development Regulations (regulations are available on the Town of Torbay's website at www.torbay.ca). Particular attention should be given to Items 3, 4, 5, 8, and 12 but not limited to.
2. The development shall meet the normal building requirements of the Town.
3. ***The civic address for the subject property shall be determined following review of the plot plan*** and shall be displayed in accordance with the Town's Civic Address Regulations. Unit or suite number(s) shall be assigned by the Town of Torbay and posted prior to occupancy in accordance with the Town's Civic Address Regulations including "unit" or "suite" preceding the posted number. The Town's Civic Address Regulations are available on the Town's website at www.torbay.ca.
4. Any occupancy of the proposed second unit requires approval from the Town and is subject to the normal processes of the Town.
5. All construction within the Town of Torbay must meet or exceed the current National Building Code.
6. As per Item 5 a) of the requirements of the Commercial Main Street (CM) Land Use Zone, the Town requires a privacy fence and/or a line of trees along abutting residential properties (regulations are available on the Town's website at www.torbay.ca).
7. As per Item 5 f) of the requirements of the Commercial Main Street (CM) Land Use Zone, the installation of sidewalk along the frontage is required.

8. It is required that the applicant contact the Provincial Department of Municipal Affairs and Environment with regards to any regulatory requirements that may apply.
9. The operation of the business must comply with the Town of Torbay's Noise and Nuisance Regulations.
10. Signage for the development shall be in accordance with Town of Torbay's Signage Policy and the Provincial Government's Signage Policy.
11. Lit building signage and on-site lighting that is unnecessary for security purposes shall be turned off or reduced at night to reduce the impact of lighting on the surrounding residential areas.
12. The development shall comply with the Town of Torbay Parking Requirements. A copy of the regulations can be viewed on the Town's website at www.torbay.ca. All parking lots shall be paved and have appropriate line paintings in place prior to occupancy.
13. The existing well shall be decommissioned or abandoned in accordance with Provincial requirements. It is the property owner's responsibility to ensure compliance. Further information regarding decommissioning or abandoning a well may be obtained by contacting the Province's Water Resources Management Department or by visiting their website at:

http://www.mae.gov.nl.ca/waterres/cycle/groundwater/groundwater_wells/abandoning.pdf

14. All construction debris shall be deposited at an approved landfill site. It is the applicant's responsibility to maintain a clean, tidy, and safe construction site.
15. **Obtaining Your Footing Permit:**
 - 15.1. A Footing Permit must be obtained from the Town of Torbay prior to any work or construction commencing on the site.
 - 15.2. The applicant shall be the owner of the subject property, and shall provide proof of ownership as required by the Town of Torbay before a Footing Permit is released.
 - 15.3. All outstanding taxes/fees must be paid before any permits are issued.
 - 15.4. A legal survey and property description of the subject property shall be submitted to the Town prior to the release of a Footing Permit.
 - 15.5. A ***Grading/Drainage Plan*** for the site shall be submitted to the Town for review/approval prior to the issuance of a Footing Permit. The site is to be developed and graded in such a manner that run-off from the site does not negatively affect adjoining properties and that all surface drainage shall be captured on the site in accordance with Item 12 in the Commercial Main Street (CM) Land Use Zone Regulations (regulations are available on the Town's website at www.torbay.ca). Grade change and landscaping at property boundaries where adjoining lots that have been developed shall have a smooth transition.

- 15.6. A **Landscaping/Site Plan** must be submitted for review/approval prior to the release of a Footing Permit.
- 15.7. The buildings and parking lot lighting shall be designed as to not disperse beyond the boundaries of the property limits and shall not be directed towards the adjacent residential properties. This shall be indicated on the landscaping/site plan.
- 15.8. Rodent proof garbage receptacles shall be installed on the site; any large industrial type dumpsters shall be properly fenced and located in an area that will not adversely affect adjacent properties. This shall be indicated on the landscaping/site plan. Garbage collection from the site shall be limited to between the hours of 8:00 am and 8:00 pm.
- 15.9. A **Plot Plan** completed by a land surveyor, engineer, architect, or other professional acceptable by the Town showing the proposed location of the building, proposed finished floor elevation, and proposed driveway location(s) must be submitted to the Town for approval before a Footing Permit is issued. The finished floor elevation of the main floor of the building shall be a minimum of 0.5 metres above the centre line elevation of the road immediately in front of the proposed building. ***Please note the proposed building must be placed parallel to the street in which it is fronting on and the building setback shall be a minimum of 10 metres from the front boundary line and determined in conjunction with the Provincial Department of Transportation and Works.***
- 15.10. Review/approval by Service NL for Building Accessibility and Fire and Life Safety is required prior to the issuance of a Footing Permit by the Town.
- 15.11. A Permit to Construct or Certificate of Approval from Service NL is required for lot layout and septic system prior to release of a Footing Permit from the Town. Please provide a copy of the septic design for our files.
- 15.12. It is required that the applicant contact the Provincial Department of Municipal Affairs and Environment with regards to any regulatory requirements that may apply prior to the issuance of a Footing Permit.
- 15.13. A permit to construct a non-domestic well is required from the Province's Department of Municipal Affairs and Environment, Water Resources Management Division. A copy of the permit must be provided to the Town prior to the release of a Footing Permit.
- 15.14. Any backfilling in the Town is subject to the Town of Torbay's Backfilling and Excavation Regulations. As per Section 8.1 of the Backfilling and Excavation Regulations, section 8.3(c) of the policy shall apply, which states "the source and type of the material shall be approved by the Town of Torbay and/or by the appropriate government department whether Federal or Provincial." A copy of the regulations is available at the Town office or www.torbay.ca.
- 15.15. Approval from the Provincial Department of Transportation & Works is required for access/egress on Pine Line and Torbay Road and a copy of the approval must be submitted to the Town prior to the release of a Footing Permit.

- 15.16. The applicant must ensure that the ventilation system installed and materials being used in the manufacturing process meet all Provincial requirements. Approval is required from the Department of Municipal Affairs and Environment's Pollution Prevention Division and Environment Assessment Division prior to the issuance of a Footing Permit.
- 15.17. A complete set of building plans must be submitted to the Town. The cost of the Building Permit will be \$4.00 per square meter of gross floor area and will be determined upon a review of the plans submitted. This fee shall be paid prior to the release of the Footing Permit.
- 15.18. A refundable security deposit of \$1,000.00 (Road Damage Deposit) is required prior to the release of a Footing Permit. An inspection of Pine Line and Torbay Road shall be completed by the Town to ensure that no damage has been done to the public roadway prior to the release of security deposits. Please note that the Town of Torbay does not permit track excavators or other such heavy equipment to travel on Town Roads. All costs associated with this work shall be incurred by the permit holder.
- 15.19. A refundable security deposit of \$1,000.00 (Curb and Sidewalk Cut Deposit) is required prior to the release of a Footing Permit. If a curb and sidewalk cut is required, it is the applicant's responsibility to ensure that the curb and sidewalk are reinstated to Town standards. All costs associated with this work shall be incurred by the permit holder.
- 15.20. A Recreation Assessment Fee of \$800.00 is required prior to the issuance of a Footing Permit as per the Town's current Tax and Fee Structure.
- 15.21. An Occupancy Permit is required prior to occupancy. A refundable Occupancy Permit Deposit of \$400.00 along with a \$100.00 Occupancy Permit Fee is required to be paid prior to the issuance of a Footing Permit.
16. If an engineered rock pad is required, a copy of the Engineering Certificate must be provided to the Town. It is the owner's responsibility to determine if required and to ensure that all work meets the requirements of the National Building Code of Canada.
17. It is the applicant's responsibility to ensure proper drainage in front of the property in accordance with the Provincial Department of Transportation and Works. This may include reinstating ditches or creating new ditches at the direction of the Department of Transportation and Works.
18. When required, a culvert shall be installed with appropriate abutments designed and constructed in accordance with the Provincial Department of Transportation and Works. The culvert size shall be determined in consultation with the Department of Transportation and Works (minimum size required is 450 mm). Prior to culvert installation, the applicant/owner's is responsible to provide and maintain adequate drainage within roadside ditching. All costs associated with this work shall be incurred by the permit holder.

19. **Obtaining Your Building Permit:**

- 19.1. If an engineered rock pad was required, a copy of the Engineering Certificate must be provided to the Town. It is the owner's responsibility to determine if required and to ensure that all work meets the requirements of the National Building Code of Canada.
- 19.2. A Surveyor's Real Property Report or Footing Location Certificate from a certified Newfoundland and Labrador Land Surveyor shall be submitted to the Town for review and approval after the footings have been set and prior to proceeding beyond that stage of development. This document shall be given to the town in both paper and digital formats.

20. **Occupancy Permit Requirements:**

- 20.1. A copy of the Final Electrical Certificate(s) from Service NL shall be submitted to the Town for any electrical work completed.
- 20.2. It is the applicant/property owner's responsibility to ensure that ventilation equipment, propane appliances/fireplaces, heat pumps, mini splits, oil fire burners, and woodstoves/chimneys are installed by a licenced/certified contractor. The Town requires written confirmation from the installer that the work has been completed in accordance with required codes prior to the release of an Occupancy Permit.
- 20.3. Any plumbing work within the Town must be carried out by a Plumbing Contractor registered with the Town (Plumbing Registration Fee - \$100.00). On completion of the plumbing work carried out under the original permit, the registered journeyman plumber responsible must sign the "Plumber Certification". The signed "Plumber Certification" must be returned to the Town of Torbay Office prior to the issuance of an Occupancy Permit.
- 20.4. Final review/approval from Service NL for the sewage disposal system.
- 20.5. A copy of the as-built septic system drawing showing the location of the tank and field shall be submitted to the Town (this can be indicated on your Surveyor's Real Property Report). Please note that measurements are required to determine the location.
- 20.6. The signed completion report for the non-domestic, drilled well shall be submitted and approved by the Province's Department of Municipal Affairs and Environment, Water Resources Management Division. A copy of the completion report in addition to Appendix B and the Complete Drilled Well Record Report & Aquifer Test Report and any other related approvals shall be submitted to The Town prior to an Occupancy Permit being issued.
- 20.7. The development shall comply with the Town of Torbay's parking requirements. Parking lot paving and line painting shall be completed.
- 20.8. Sidewalk(s) shall be installed along the street frontage.

- 20.9. The civic and units number(s) as determined by the Town of Torbay shall be displayed and be visible from the street in accordance with the Town's Civic Numbering Policy.
- 20.10. A privacy fence and/or a line of trees shall be provided along the abutting residential properties.
- 20.11. Final approval(s) from Service NL.
- 20.12. Fire & Life Safety Inspection as per Service NL's review.

Please allow two to three days for review and processing when the above items have been completed prior to the issuance of your Occupancy Permit.

21. **Refund of Security Deposits:**

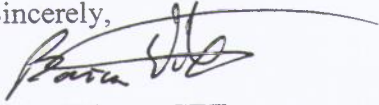
- 21.1. Culvert abutments shall be designed and constructed in accordance with the Provincial Department of Transportation. Prior to approving the culvert/abutments, the drainage area must be unobstructed and free of debris. All costs associated with this work shall be incurred by the permit holder.
 - 21.2. It is the applicant's responsibility to ensure proper drainage in front of the property in accordance with the Provincial Department of Transportation and Works. This may include reinstating ditches or creating new ditches at the direction of the Department of Transportation and Works.
 - 21.3. Following the issuance of an Occupancy Permit, inspection of the roadway, approval of the culvert and abutments, and any other conditions set by the Town; the refundable security deposits will be refunded to the applicant. Once all items have been completed, please notify the Town for review. Please allow two to three weeks processing time. Also, please note that if property/business taxes are outstanding for the current calendar year, your deposit may be applied to your taxes.
22. As per the Town's Preservation of Trees regulation, mature trees shall be preserved and replaced where necessary. Such trees shall be removed only if they become dangerous because of age, disease or proximity to a building; if they are overcrowded, and unduly inhibit light and air circulation for landscape purposes and building occupancy, or if they will unduly inhibit construction.
 23. This **APPROVAL IN PRINCIPLE** is valid for one year commencing on April 9, 2019 and expiring on April 9, 2020.
 24. The applicant hereby acknowledges the receipt of this Approval in Principle letter, and agrees to comply with the conditions as contain therein. Failure to comply with said conditions will result in the Town's withdraw of the said Building Permit. Please sign below to acknowledge the above.

You have the right to appeal this decision or any conditions thereto. The appeal and appeal fee of \$200.00 plus HST (\$230.00 total) must be submitted to the Secretary of the Appeal Board at the Department of Municipal Affairs and Environment, 4th Floor, West Block, Confederation Building, P.O. Box 8700, St. John's, NL A1B 4J6, within 14 days of the day that you receive this decision. If the appeal and fee are not submitted within this time limit, your right to appeal is

considered to be forfeited. You should note that any interested person also has the right to appeal the decision regarding your application within the 14 day appeal period.

This letter does not relieve the applicant from obtaining the necessary permits or approvals under any other regulation or statute prior to commencing the development.

Sincerely,



Brian Winter, CET
Director of Planning

Copy: D. Chaplin, Chief Administrative Officer

Applicant

Date